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Chief Executive Officer

REPORT ON OPERATIONS

April 2023



**Hobsons
2.0**

Issue 71

Published May 2023

Presented at the Council Meeting of Council on 9 May 2023

The CEO Report on Operations is a regular report that is published by the Hobsons Bay City Council.

The purpose of this report is to inform Council and the community of recent issues, initiatives and projects undertaken across Council. The report is provided on a monthly basis.

CEO update

During April, the Chief Executive Officer participated in a number of events, meetings and discussions about a range of matters relevant to Hobsons Bay and the local government sector.

Many of the events and meetings attended by the CEO during this period were related to regional initiatives and collaboration such as:

- attendance at a meeting with The Hon. Tim Watts MP, Member of Gellibrand together with Mayor Cr Antoinette Briffa to discuss advocacy priorities;
- attendance at a meeting with Tracey Boyes, Executive General Manager, Solid Waste Services, Preet Brar, General Manager, Solid Waste Services, Cleanaway together with Pene Winslade, Director Sustainable Communities and Council officers to discuss performance issues;
- attendance at a meeting with The Hon. Melissa Horne MP, Member for Williamstown, Paul Sullivan, President, Williamstown Swimming and Lifesaving Club together with Mayor Cr Antoinette Briffa, Sanjay Manivasagasivam, Director Infrastructure and City Service and Andrew McLeod, Director Corporate Services;
- attendance at a meeting with The Hon. John Pandazopoulos, Chair of Parks Victoria Board, the Matthew Jackson, CEO, Parks Victoria, together with members of the Hobsons Bay Wetlands Centre Committee;
- attendance at a meeting with Peter Llelyett, Acting CEO, West Gate Tunnel Authority together with Celia Haddock, CEO Maribyrnong City Council;
- attendance at a meeting with the West Gate Tunnel Project Executive team, together with Council officers;
- attendance at the Western Region CEOs meeting, hosted by Melton City Council; and
- attendance at a meeting with Jodie Obst, Director Youth Mental Health Section, Health and Aged Care together with Pene Winslade, Director Sustainable Communities to discuss Councils advocacy on youth mental health services in Hobsons Bay.



Aaron van Egmond
Chief Executive Officer

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Delivering for our community

Library services



Libraries

April 2023

Physical loans (books etc.): 23,789

eLibrary loans (eBooks etc.): 8,418

Renewals: 7,425

Total: 39,632

Library visits: 40,131

Loans have decreased -3.6 per cent compared to March 2023.

Year to date loans have increased 9.8 per cent compared to April 2022.

eLibrary loans have decreased -1.2 per cent compared to March 2023.

Year to date eLibrary loans have increased 0.1 per cent compared to April 2022.

Community Hubs and Centres



Laverton Community Hub

There were 264 Bookings in April with 832 community members participating in the Active program.

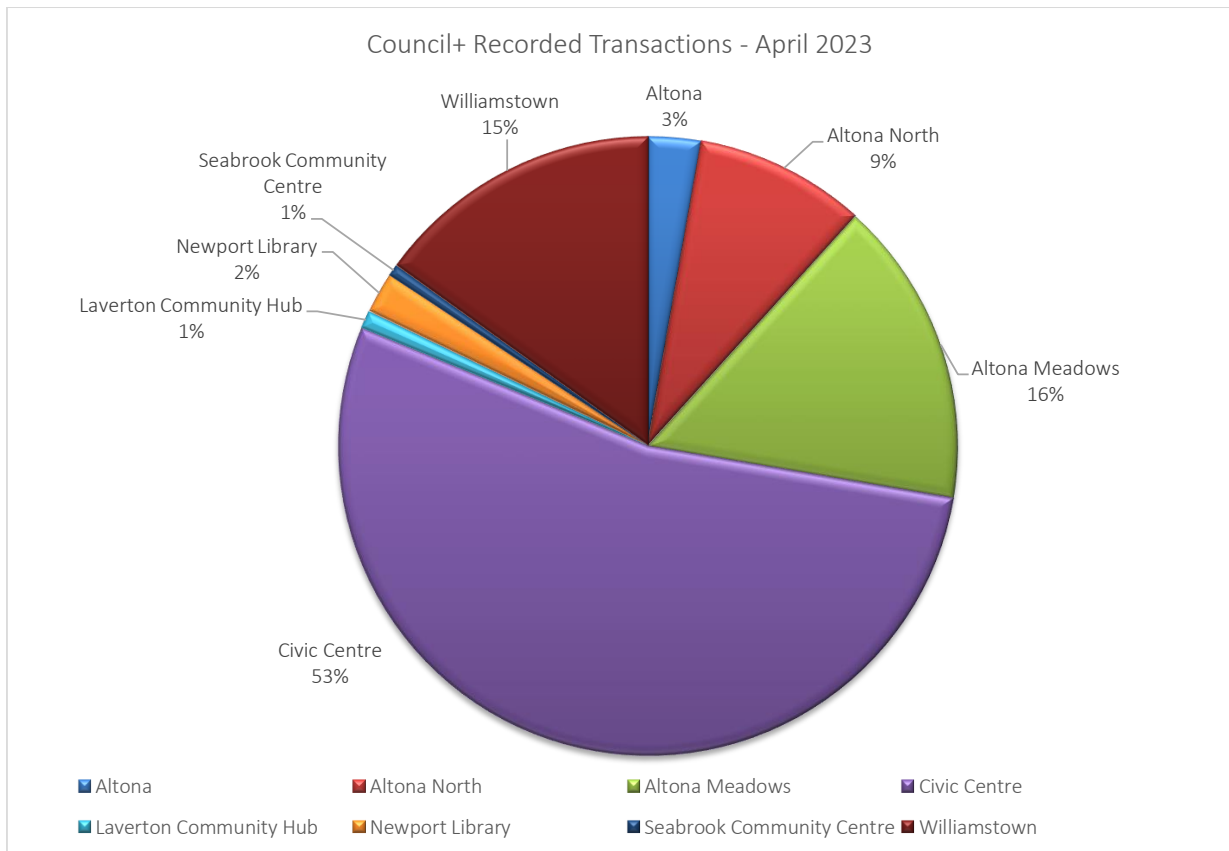
Newport Community Hub

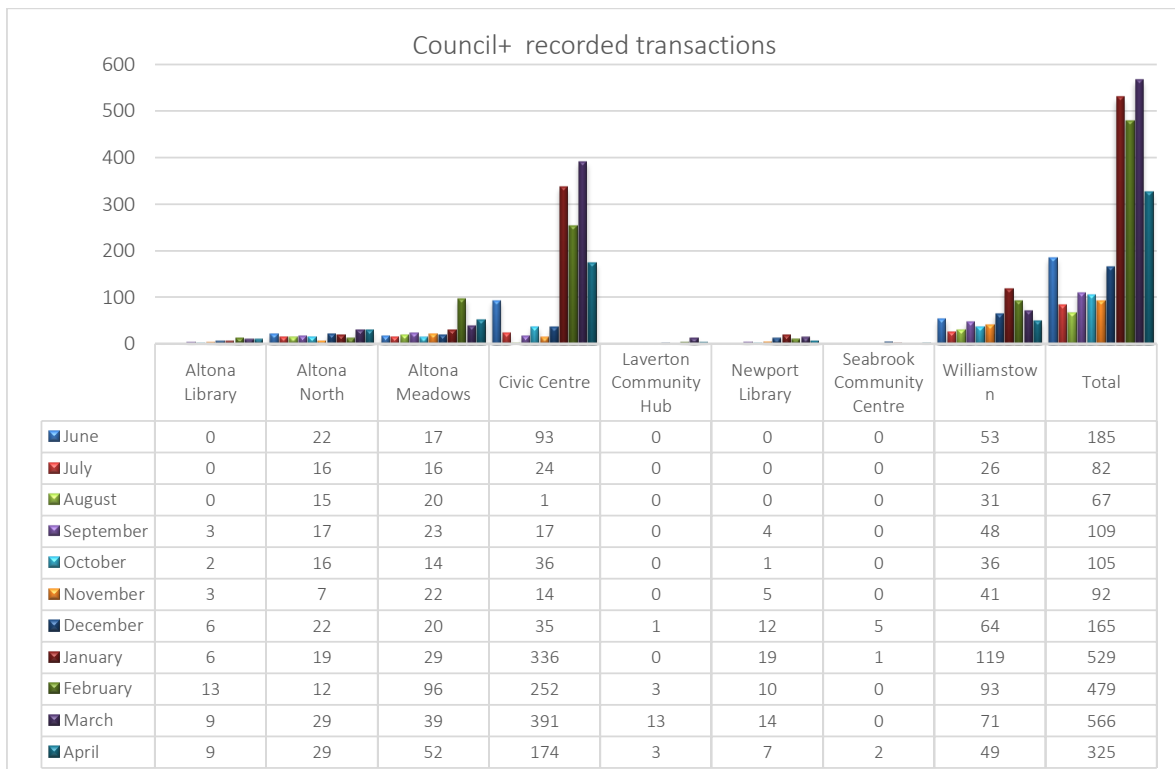
There were 134 bookings in April.

Seabrook Community Centre

There were 96 bookings in April.

Council+





Council+ launched at Altona Library

On Tuesday 18 April, a community celebration was held at Altona Library to mark the launch of Council+ services at the site. There were 1,600 community members who attended the event, which included: a bug incursion, face painting, story time, craft activities, trash Olympics, LEGO world, free book and tree giveaways.



Image: Caterpillar Puppet



Image: Creepy crawlly themed craft activity



Image: Tree giveaways



Image: Bug incursion set up in the library with a butterfly enclosure where children could see and hold butterflies up close

Youth services



Youth Counselling

Council's generalist youth counselling service delivered 45 face-to-face and online counselling sessions this month to 32 young people. At the end of the month there was a three-week waiting period for a young person to access youth counselling services.

Youth Programs and Activities

Council ran 14 programs and activities sessions, with 75 contacts with young people. This included the April School Holiday Program, FReeZA Committee meetings and the Thursday afternoon drop-in sessions in partnership with the Western Bulldogs.

Youth-Focused Capacity Building Programs

One session of the Tuning Into Teens program was held for four parents to support and strengthen their family relationships.

Immunisations



Immunisations

Council's immunisation team held 12 immunisation sessions plus one home visit, administering 1,111 immunisations to 708 clients.

School immunisation visits for were held for all secondary colleges with students in Year 7 and Year 10. There are 898 Year 7 students and 895 Year 10 students enrolled in school. A total of 782 Year 7 HPV immunisations and 798 Boostrix (DTP) immunisations and 748 Year 10 Nimenrix (Meningococcal ACWY) immunisations given. April also saw the commencement of flu vaccinations, where Council provided 698 private flu immunisations.

Early years and family services



Family/Social work support (MCH)

Council's MCH social worker responded to two family violence referrals. Eight further consults were conducted in relation to family violence.

Maternal and Child Health (MCH)

In April, there were a total of 79 infants born to Hobsons Bay families. The highest numbers of infants born were in Laverton and Newport Gardens. The Universal MCH Service completed 800 consultations/appointments. The Enhanced MCH Service received 10 new referrals and provided 54 ongoing consultations for vulnerable families. Nineteen families received support packages from either St Kilda Mums or the Victorian Government Nursery Equipment Program for vulnerable families. Six welfare phone calls were completed due to COVID impact/isolation.

Parenting Programs

The following parenting support programs were delivered during April:

- 17 first time parenting groups
- 8 sleep support groups
- 13 sleep support outreach appointments
- 8 breast feeding support sessions
- 1 circle of security parenting group
- 2 baby makes three sessions

Preschool Field Officer

The Preschool Field Officer (PSFO) Program supports Kindergarten Educators to develop capacity and skills in delivering inclusive programs to all children and those with additional needs. The PSFO program provided 14 consultations to Educators.

Kindergarten Registration

Eighty-six three-year-old and 35 four-year-old registrations for kindergarten were processed.

Occasional Care

Eleven children (between 0-5 years) attended Council's Occasional Care program on Thursdays and Fridays totalling 73 sessions.

Supported Playgroups

Nine smalltalk groups, three supported playgroups and one one-to-one session were provided to vulnerable families.

Services for older residents and residents with disabilities



Planned Activity Groups (PAG)

Twenty-nine Planned Activity Group sessions were provided to 72 clients.

Community Transport

Seniors transport provided 20 return trips to 24 clients. Three social transport trips were provided to 13 clients.

Aged Assessment

The Assessment team undertook 51 assessments and 94 support plan reviews for services required by older residents requiring support services.

Delivered Meals

One hundred and fifty-four residents received a meal delivered to their home. In total 1,896 meals were provided to eligible residents.

Home Maintenance

Nineteen residents received a service through Council's Home Maintenance program.

Arts, Culture and Events



Williamstown Town Hall

Bookings during April included a cultural concert by Divine Entertainment, Bayside College Foundation Day and Play School Live in Concert. The Melbourne International Comedy Festival held a Neighbourhood Session over the Easter long weekend which was attended by over 700 patrons. The Top Blokes Foundation held A Tribute to Elias El-Khoury fundraiser to assist in raising awareness of mental health and wellbeing.

During April, regular immunisation sessions were held as well as meetings by The Williamstown Toastmasters, All Aboard Club and the Williamstown Film Society.

Council also hosted a Citizenship Ceremony at Williamstown Town Hall.

Old Laverton School

April user groups included Laverton Community and Education Centre, Altona Brooklyn Kyokushin Karate, Sound Spa Yoga and El-Shaddai Samoan group.

An Open Day was held at the venue as part of the Heritage Hobsons Bay 2023 program.

Altona Theatre

During April, the Altona City Theatre Company held auditions for their upcoming July season of *Beautiful - The Carole King Musical*.

Council's *Arts at Your Doorstep* performing arts season kicked off with *Sparrows of Kabul*.

Event Applications and Permits

Six Expressions of Interest event applications were received and 11 event permits were issued during April 2023. These included Flynn's Walk on 30 April, a 10km community walk in Williamstown to raise mental health awareness for veterinarians.

Filming

Four filming applications were received. Four filming permits were issued during April.

Street Banners

Heritage Hobsons Bay banners were installed across the municipality for April.

Markets

The monthly Regional Farmers Market in Altona Meadows, Regional Farmers Market in Williamstown and the Altona Lions Club Market at Cherry Lake took place. The Altona Beach Market at Pier Street continued to take place every Tuesday during April.



Image: Cherry Lake Market stalls



Image: Altona Meadows Farmers Market stalls

Woods Street Arts Space

During April, Woods Street Arts Space supported local community arts groups to facilitate 24 workshops ranging from art classes with Hobsons Bay Art Society, creative workshops for kids with Little Art Big Art and Soundstep Studios songwriting and recording workshop with Nina Ferro & Vashti Sivell.

Part of Riley Sugars Productions upcoming comedy web series *Til You Make It* was shot Woods Street Arts Space during April.

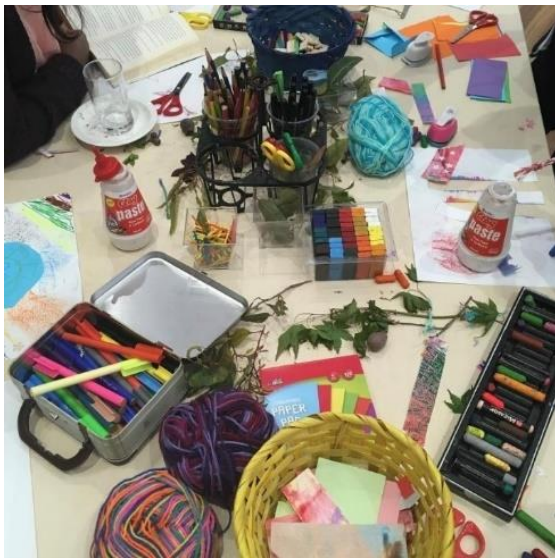


Image: Little Art Big Art at Woods Street Arts Space

Hobsons Bay Visitor Information Centre

A total of 1,842 visitor contacts were made in April, 52 per cent were visiting from Victoria, 21 per cent were international visitors, 12 per cent were from interstate, and 15 per cent were locals.

Step Back in Time guided heritage walking tours took place on Tuesdays and Fridays in April, departing from the Hobsons Bay Visitor Information Centre in Williamstown.

Volunteers also participated in a familiarisation tour at Grazeland.



Image: Step Back in Time heritage walking tour



Image: Volunteers at Grazeland

The Substation

Council provides funding to support the operations of The Substation. Over the first six months of the current agreement, The Substation held 16 performance works (several over multiple days), six exhibitions and three outdoor exhibitions. One hundred and eighty artists were engaged through the program, in addition to 38 VCE Art and Design students.

The artists and company in residence program supported the work of Australian Art Orchestra and Western Edge Youth Arts among others.

Laneway Gallery

Laneway Gallery presented *Here, out at the West* by Mita Chowdhury, an exhibition that aimed to represent a cultural and demographical picture of Melbourne's West and its people.

Laneway Gallery is a multi-venue exhibition space at Woods Street Art Space in Laverton and the Civic Centre in Altona. Twice a year, artists and arts collectives are invited to submit artwork responding to one of the following themes: First Nations (including local place and heritage), Diversity Biodiversity and the Environment, Social Justice and Inclusion, Sustainability and Gender and Equality.



Image: *Here, out at the West* by Mita Chowdhury

Airtime

During April Airtime exhibited *Who am I? Where am I? What am I?* by young local artist Naomi Thorpe.

Airtime is a temporary public art project that highlights the creative talents of young people. Artworks are reproduced and printed on large flags and exhibited on a rotational basis on the Altona Meadows flag poles located at the Queen Street Skate Park.



Image: promotional material for *Who am I? Where am I? What am I?* by Naomi Thorpe

Sea Flowers and Lake Stories

An art installation of floating resin flowers was featured at Cherry Lake during April. Local stories about the lake, its history and place in the community were captured in the lead up to the installation and made available to access through nearby QR codes.

On Saturday 22 April, *Sea Flowers and Lake Stories* became an event including music and performance.



Image: *Sea Flowers* by Hubcap Productions

55th Finnish Festival

The 55th Finnish Festival took place at Altona Theatre, the Finnish Hall and JK Grant Reserve in Altona over the Easter long weekend Friday 7 to Sunday 9 April 2023. The festival's cultural music, sport events, Finnish foods and folk dancing attracted both local supporters and interstate visitors.

The Finnish Festival was supported through Council's Make it Happen grants program.



Image: Finnish baseball



Image: Finnish folk dancing

Western Suburbs Triathlon Club

The final race in the current season of the Western Suburbs Triathlon Club took place in Altona 2 April 2023. The event was well attended and highly successful.

Newport Jazz Festival 2023

The Newport Jazz Festival took place at the Substation, Newport Bowls Club, Newport Library and Hub and Newport Scout Hall from Friday 21 to Sunday 23 April 2023. More than 55 performers and artists were booked to appear in the festival, bringing a full and interesting program of music to local venues.



Image: Rathdowne Street big band at Newport Jazz Festival

ANZAC Day Services

Council provided operational and planning assistance to support local ANZAC commemorative activities and services.

On 22 April Altona RSL hosted its Commemoration March from Altona RSL to the Altona Cenotaph, followed by a service outside the Hobsons Bay Civic Centre.

On ANZAC Day 25 April, dawn services were hosted at Altona Cenotaph, Williamstown Cenotaph and at Homestead Run in Seabrook. Newport RSL hosted an afternoon ANZAC service at Paine Reserve, Newport.

The Footscray Cycling Club held its annual Memorial Criterium on ANZAC Day 25 April 2023.



Image: Dawn service at Williamstown



Image: Dawn service at Altona



Image: Wreaths at the Altona Cenotaph



Image: Dawn service at Seabrook



Image: Mayor Cr Antoinette Briffa and Cr Jonathon Marsden at Spotswood-Kingsville Commemorative Service

Newport Bush Orchestra Performance

The Newport Bush Orchestra performed their third community performance at the Commonwealth Reserve Rotunda on 30 April.

Creative City 2030

Hobsons Bay Creative City 2030 is underway with a community engagement phase. Starting the engagement phase was a survey which opened in April and will continue throughout May. Workshops are also scheduled for May.

Hobsons Bay Creative City 2030 is a plan that will help inform and guide Council's direction for arts and culture.



Image: Creative City 2030

Heritage Hobsons Bay Festival

The Heritage Hobsons Bay Festival 2023 concluded on 30 April. Highlights of the two-week festival included tours of the Alfred Graving Dock at BAE (attended by approximately 240 patrons), the stained-glass windows created by artist David Wright in 1978 at Saint Eanswythe Church and a panel discussion on local heritage advertising or ghost signs at the Hobsons Bay Civic Centre with author Nick Gadd and artist Tony Mead.

The festival featured talks, tours, open days, walks and film screenings. Included in the festival was the launch of the Hidden Histories of South Kingsville and Spotswood as part of Council's Better Places program. A film event featuring locally shot footage from the 1970s classic *Homicide*, was also well attended at Pirates Tavern in the Seaworks maritime precinct.



Image: Alfred Graving Dock

Treatment III

Treatment III is the third instalment of a project designed to celebrate the unique features, communities, technologies and ecologies of the Western Treatment Plant (WTP) site at Werribee. In this iteration, Treatment III expanded beyond the WTP along the historic Main Outfall Sewer, which runs for 30km west from Spotswood.

The project was launched at Scienceworks in April and James Nguyen engaged fellow artists from the Altona North and Brooklyn areas to perform at Altona Gate shopping centre and Federation Pipeline area in Brooklyn.

Treatment III is delivered by Public Art Commission through Deakin University, in conjunction with Melbourne Water and Wyndham City Council, with funding from the West Gate Neighbourhood Fund.



Image: Treatment III logo

2023 Hobsons Bay Pride Program

The 2023 Hobsons Bay Pride Program is an initiative of the 2023 Mayoral program. Council called for expressions of interest for a Community Liaison Group to assist in the design and implementation of the Pride Program. Fourteen expressions of interest were received and the first meeting took place on 26 April, with monthly meetings set through to October 2023.

Hobsons Bay Inter-Agency Network

The Hobsons Bay Inter-Agency Network met on 4 April at the Hobsons Bay Civic Centre. More than 30 people attended and contributed to the meeting. Included at the meeting was a talk from guest speaker Jack Fawcett (Volunteer West), discussing the new Culturally Inclusive Volunteer Toolkit.

Volunteering

Planning for the Hobsons Bay Volunteer Expo is well underway. Stallholder applications closed in the second week of April and the final 30 stall holders were confirmed across a broad variety of local community organisations. The Hobsons Bay Volunteer Expo is held at the Hobsons Bay Civic Centre 20 May 2023.

2023 Hobsons Bay Make it Happen Grants

Council's Make it Happen grants program is in progress. The first round of applications were assessed with funding administration completed during April. Applications continued strongly through March with 42 received for assessment. Monthly workshops to support grant writing continued.

For Make it Happen, more than \$530,000 is available for application, including a contribution from Toyota Australia of \$30,000 towards the equipment grant. The February round had 31 applications, 20 of these were funded, a total allocation of just over \$190,000.

Ramadan and the Australian Islamic Centre

In acknowledgement of Ramadan, Council representatives attended the annual Iftar Dinner, hosted at the Australian Islamic Centre in Blenheim Road, Newport. Guests at the dinner heard about the recent achievements of the community around the mosque, including youth camp and a focus on the contribution of volunteers.

Western Public Health Unit Forum

Council representatives attended the Western Public Health Unit (WPHU) Health Promotion and Planning Forum, as an opportunity to meet, hear about and share information on emerging health priorities and catchment planning in the west. The WPHU is helping to resource a collaborative model of working with a focus on health equity and improving health outcomes.

Community Partnerships Spotlight



Council provides funding to a number of community organisations that support and strengthen community. This section highlights these partnerships and provides information about one each month.

Hobsons Bay Community Fund

The Hobsons Bay Community Fund (HBCF) is a perpetual philanthropic fund established in 2006 to support, strengthen and benefit the community of Hobsons Bay for present and future generations.

The HBCF is run by a voluntary committee of management who contribute their time, skills, energy and networks to make a difference and improve the lives of those in need within the Hobsons Bay community.

The Fund enables individuals, families, community groups and businesses to make financial donations that benefit the community in perpetuity. These donations are retained as capital (the corpus) to build a perpetual fund for philanthropic purposes, with the income from this capital used to make local community grants.

Council allocates annual funding framed by a service agreement to support the operations of the HBCF, ensuring that 100 per cent of donations are directed to the perpetual fund.

Each year, the HBCF delivers two flagship fundraiser events - a business lunch and a golf day, as well as its annual grants program. The HBCF has provided over \$300,000 in grants to around 150 grassroots groups and clubs supporting the local community. Community grant impact areas include mental health, environment, employment, digital literacy, housing, arts, family and inclusion.

The current HBCF grants program is open with applications closing on 30 June 2023.

Strategy, Economy and Sustainability

Economic development



Easter Scavenger Hunts

This Easter, Council ran three scavenger hunts across key business precincts to encourage families to visit local shops in Altona Meadows, Altona and Williamstown.

The activation ran from Monday 3 to Monday 17 April 2023. Eggs were “hidden” in shop windows with clues provided via a podcast. Over 170 entries were submitted.

The Easter Bunny also made guest appearances in Altona Meadows, Altona and Williamstown, across the Easter long weekend to greet the public and hand out gamecards.



Image: Paolo and Ildiko Bondi from 3 Grains Pizza, Williamstown

Environmental sustainability



Driver Shortage Impacting Waste and Recycling Kerbside Collections

While disruptions to Council’s waste collection service have continued throughout April, there has been an improvement in the service since last month, particularly in the latter part of the month.

General waste bins are now largely being collected as per the regular schedule. The other three bin streams: FOGO, glass and comingled recycling bins are also largely being collected as per the regular schedule – a vast improvement from last month when they were being collected one to six days late. Where bins are not collected on their scheduled day, catch-up collections are scheduled via an extra Saturday service which Cleanaway is providing to Council at no extra cost.

Council is working with Cleanaway to ensure residents can have their bins collected in line with the scheduled collection calendar. In the meantime, Council are keeping residents informed about the service disruptions, across several channels including:

- signage on digital screens across libraries and community centres
- announcement banner on our website
- news posts on our website
- notifications on the Hobsons Bay Recycling 2.0 phone app
- social media posts and advertising
- resident-facing Council staff available to answer questions
- informational on-hold message for people contacting us via phone
- sending updates to community partners to share with their networks
- a dedicated customer service representative available to answer questions and provide information direct to residents
- asking that residents spread the word by telling their neighbours and nearby friends, family and colleagues to help ensure the message reaches far and wide across the community

Interest Continues in Reusables Rebate

This month, 153 residents submitted to receive a rebate on the purchase of reusable nappy, sanitary and incontinence products.

The rebate encourages switching from disposable products to reusables, which is a great way for residents to save money and reduce their environmental footprint.

Story Time with a Recycling Truck Driver

Thirty-one children and 19 adults joined a Hobsons Bay recycling truck driver for a special story time at Altona North Library in the school holidays. Participants also had a chance to explore and take photos in a real-life recycling truck as they learnt the importance of recycling right in a fun, exciting way.

Celebration of Food and Community

Residents joined Council's Festival of Food: Pickles and Produce Swap Party at Altona Community Garden. Participants enjoyed pickling demonstrations, garden tours and seedling giveaways while sharing and swapping garden produce, seeds, recipes and preserves.

Youth Learn Skills to Fight Fast Fashion

Young people aged 12 to 17 attended a free, hands-on 'Stitching Sashiko Style' workshop in Newport. Attendees learnt a great life-long skill used to upcycle and mend textiles while reducing waste and fighting fast fashion.

Zero Waste Kitchen Bundles for Laverton Residents

Sixty Laverton residents made a 'Waste Less Pledge' when they visited Council's recently upgraded Henderson Street Reserve as part of the 'Laverton Park Hop' event.

For making the pledge to reduce waste in their daily lives, residents were given a zero waste kitchen bundle containing sustainable alternatives to plastic dish brushes and disposable synthetic sponges.



Strategic Planning

Amendment C137 Spotswood Heritage Amendment

The six-week public exhibition period for Amendment C137 Spotswood Heritage Amendment closed on Thursday 6 April 2023. This amendment seeks to implement new and revised heritage overlays in the Spotswood area. Council will now review all the submissions received and refer submissions to an independent Planning Panel. A planning panel directions hearing is anticipated in late June 2023, with a Panel Hearing to following in late July 2023.

A Fair Hobsons Bay for All – Preliminary Engagement

Preliminary engagement continued to inform the update of Council's integrated social policy framework, A Fair Hobsons Bay for All. The policy aims to achieve greater fairness and inclusion for everyone who lives, works, studies, visits and plays in Hobsons Bay.

Preliminary engagement has included a survey, focus groups and interviews. In April, focus groups and interviews were conducted with representatives from a range of priority populations including women, people with a disability, First Nations people, and people from culturally and linguistically diverse communities.

Feedback will inform the objectives and strategies in the updated policy and whether any changes are required to the priority populations identified. More information is available on Council's [Participate Hobsons Bay](#) page.



Image: Participants of the 2022 Multicultural Womens Leadership Program with Mayor Cr Antoinette Briffa at a Fair Hobsons Bay for All focus group

Planning, Building and Health Update

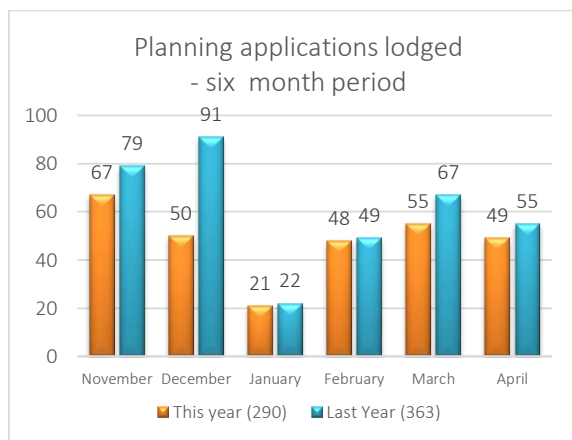
Planning



Planning applications received

Council received 49 planning permit applications for the month of April.

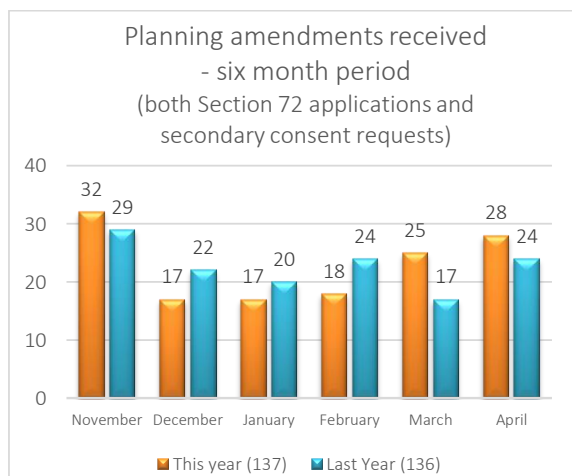
For the six-month period from November 2022 to April 2023, 290 planning permit applications were received, a 20 per cent decrease from the same period last year.



Amended permit applications lodged

Council received 28 planning permit amendment applications for the month of April.

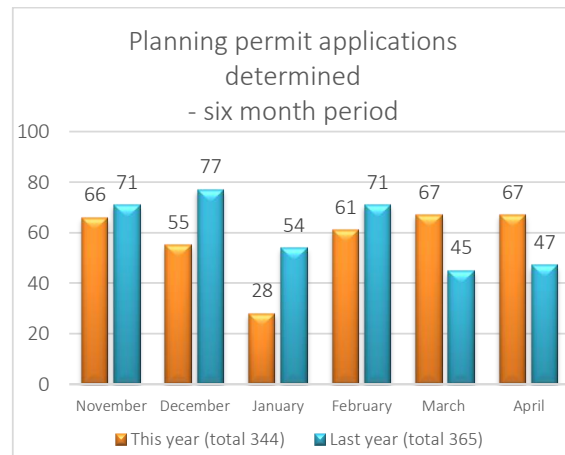
For the six-month period from November 2022 to April 2023, 137 planning permit amendment applications were received, a one per cent increase from the same period last year.



Planning applications determined

Council completed 67 planning permit applications for the month of April.

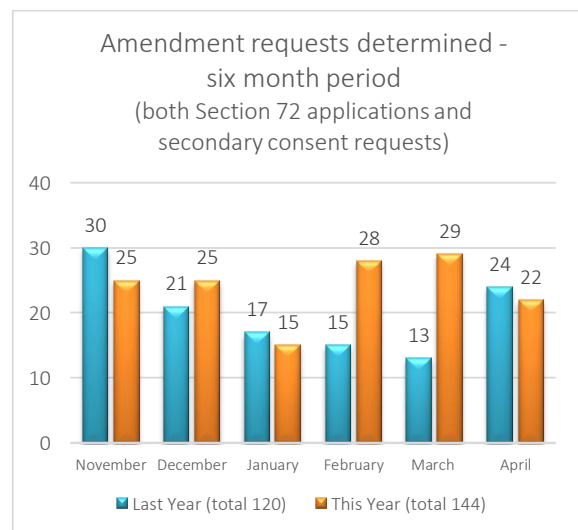
For the six-month period from November 2022 to April 2023, 344 planning permit applications were completed, a six per cent decrease from the same period last year.



Planning amendment requests determined

Council completed 22 planning amendment applications for the month of April.

For the six-month period from November 2022 to April 2023, 144 planning amendment applications were determined, a 20 per cent increase from the same period last year.



VCAT

The Town Planning department received the following appeal decisions:

Application Number: PA210536

Address: 88 Maidstone Street, Altona

Proposal: Construction of two or more dwellings on a lot under clause 32.08-6 (three dwellings) and creation of access to a road in the transport zone under clause 52.29

Delegate Decision: Notice of Decision

DPC Decision: N/A

VCAT Decision: Approval (Varied)

Made by consent order? Yes

Delegated Planning Committee (DPC)

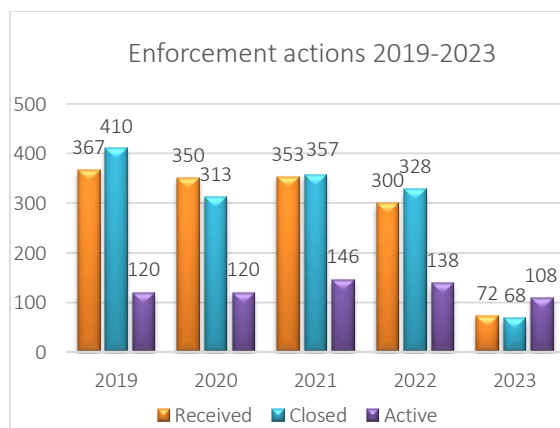
There were no applications considered at the Delegated Planning Committee in April 2023.

Planning applications of interest

No new applications of interest to report this month.

Active and significant enforcement matters

Council received 22 planning enforcement issues for the month of April and closed eight issues.



Building

Permits and consents

- Council's Municipal Building Surveyor issued 6 building permits
- 53 building permits were issued by private building surveyors
- 10 report and consent dispensation requests were determined

Inspections and enforcement

- 3 building notices/orders were issued
- 3 notices/orders were resolved/completed/cancelled
- 70 inspections occurred during the month

Building Site Enforcement

- 52 sites investigated and achieved compliance
- 1 infringement issued for failing to comply

Building information requests

Council processed 172 requests for information and 45 General Enquiries during April.

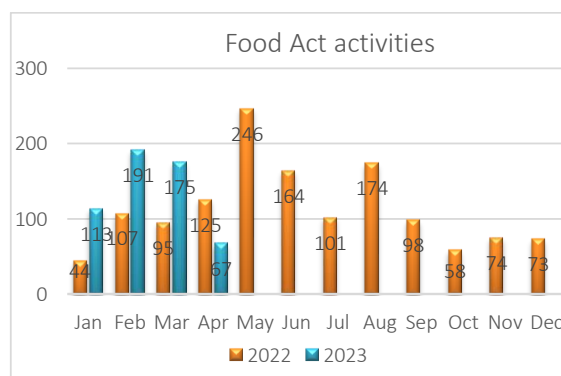


Health

Food Act activities

The following activities were recorded in April 2023 with the main activities being:

- 51 mandatory food assessments and inspections, Class one = 1, Class two = 17, Class three = 33
- 17 new food premises registration inspections
- 11 plans assessments
- 13 progress inspections



Client managed premises

Council has 25 client managed premises.

Food sampling

No samples were taken from Class two premises during April.

Food recalls

One food recall was received in April 2023 due to an undeclared allergen (gluten) as a result of routine company testing.

AccuPoint samples

In April, no AccuPoint samples were taken from client managed premises.

Outbreaks

No outbreak investigations were conducted in April 2023.

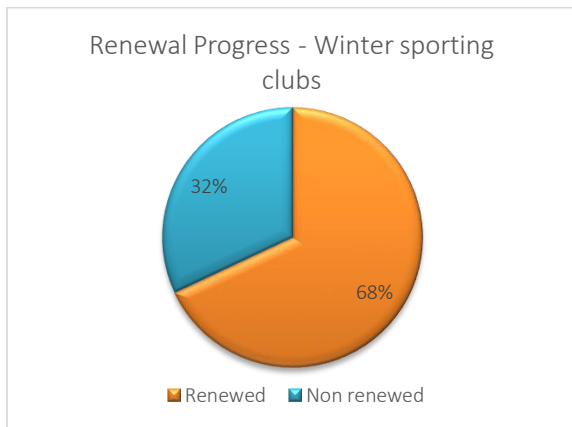
Stretrader

The following mobile and temporary food activities were recorded in April:

- 37 Statements of Trade lodged.

Food renewals

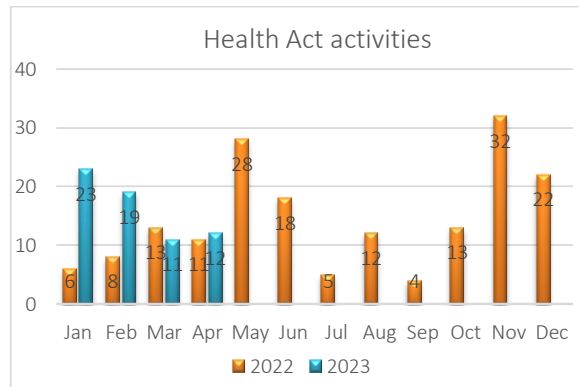
Winter sporting clubs operate from 1 April to 30 September. All clubs were notified to renew and pay their Food Act registration on 6 March 2023. All fees were due 31 March 2023. To date, we have received 82 per cent renewal applications and 68 per cent of payments.



Public Health and Wellbeing Act activities

The following activities were recorded during April:

- 7 mandatory public health inspections
- 1 new premises registration inspection
- 3 progress inspections
- 1 assessment of plans



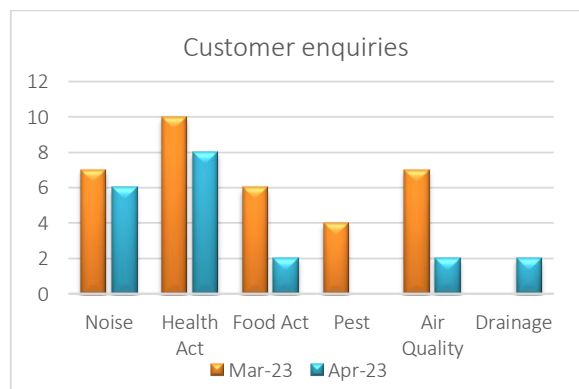
Tobacco Act activities

During April, 10 tobacco education visits were conducted.

Customer Enquires

During April, 20 customer requests were received relating to:

- Noise (6)
- Health Act (8)
- Food Act (2)
- Pest Control (0)
- Air Quality (2)
- Drainage (2)



Governance

Governance



Councillor delegates to Council and Community Committees

Councillors attended the following meetings of Council and Community Committees held between 1 April 2023 and 30 April 2023:

- Cr Jonathon Marsden attended the meeting of the Metropolitan Transport Forum held on 5 April 2023
- Cr Peter Hemphill attended the meeting of the Hobsons Bay Community Fund held on 5 April 2023
- Cr Peter Hemphill attended the meeting of the Substation Board held on 20 April 2023
- Cr Jonathon Marsden attended the meeting of the Association of Bayside Municipalities held on 28 April 2023

Citizenship Ceremony

On 2 April 2023, 229 Hobsons Bay residents gained Australian citizenship at two citizenship ceremony conducted by Mayor Cr Antoinette Briffa held at the Williamstown Town Hall. Additionally, by agreement with the Department of Home Affairs due to special circumstances, a one-on-one citizenship ceremony was conducted for a new citizen at the Hobsons Bay Civic Centre, presided over by the Chief Executive Officer.

Documents for Sealing

There were no documents that required sealing during the period.

Record of Meetings attended by Councillors

Councillors attended the following meetings held between 1 April 2023 and 30 April 2023:

- 4 April 2023 Councillor Briefing Session attended by Cr Antoinette Briffa, Cr Diana Grima, Cr Peter Hemphill, Cr Jonathon Marsden, Cr Pamela Sutton-Legaud and Cr Matt Tyler. No conflicts of interest were disclosed
- 11 April 2023 Pre-Council Meeting Agenda Briefing attended by Cr Antoinette Briffa, Cr Diana Grima, Cr Peter Hemphill, Cr Jonathon Marsden, Cr Pamela Sutton-Legaud and Cr Matt Tyler. No conflicts of interest were disclosed

- 18 April 2023 Councillor Briefing Session attended by Cr Antoinette Briffa, Cr Diana Grima, Cr Peter Hemphill, Cr Jonathon Marsden, Cr Pamela Sutton-Legaud and Cr Matt Tyler. No conflicts of interest were disclosed

Anjo Sister City Delegation

From Wednesday 12 April to Sunday 16 April, Mayor Cr Antoinette Briffa and a delegation of Hobsons Bay representatives, including Council officers and community members from the Hobsons Bay International Friendship Association travelled to Anjo, Japan as part of Council's sister city relationship which has entered its 35th year.

Although a final costing for the delegation has not yet been finalised, the total cost of Qantas economy return airfares to Japan and accommodation for the Mayor and two Council officers was \$10,871.74. (Flights \$9,402.97 and Anjo accommodation \$1,468.77)

The trip to Anjo is best summarised into three key themes:

Theme 1: Community Infrastructure

The visit included site visits and guided tours of key community assets that provided insights on simplistic design, thorough planning, and sound maintenance and servicing.

Sites of interest included visits to Anjo Comprehensive Sports Park which contains an indoor aquatic facility, indoor multipurpose sports courts with a running track, outdoor football, baseball and softball fields.

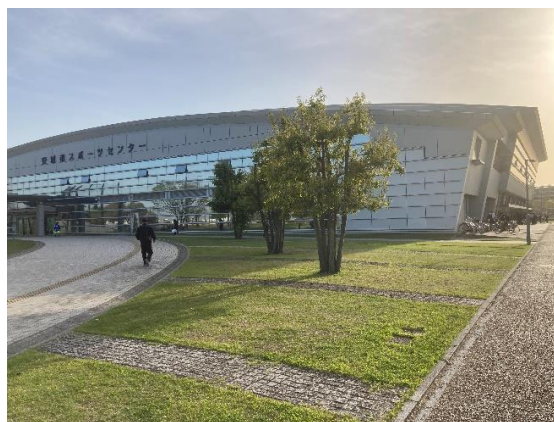


Image: Sports Park

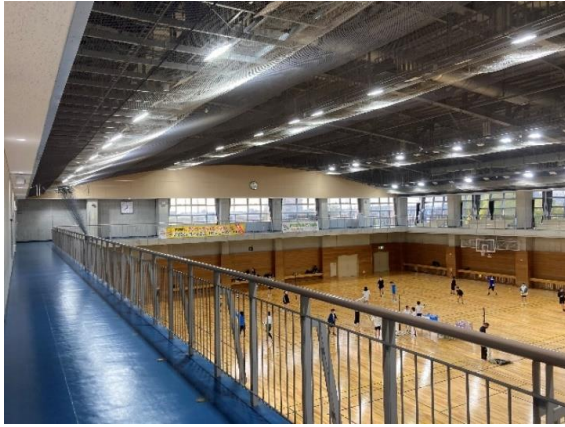


Image: Indoor multipurpose sports courts

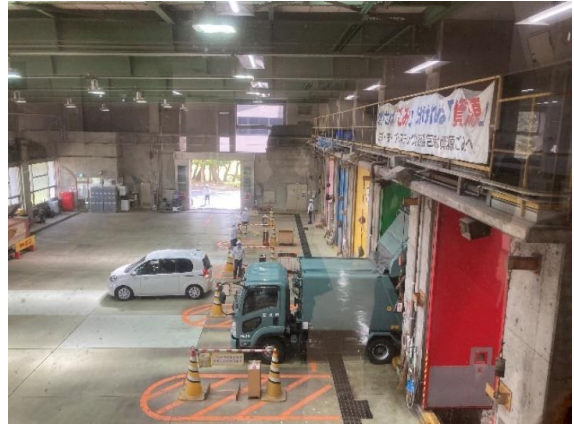


Image: Inside the Environment Clean Centre



Image: Outdoor sports field



Image: Incinerators burning rubbish

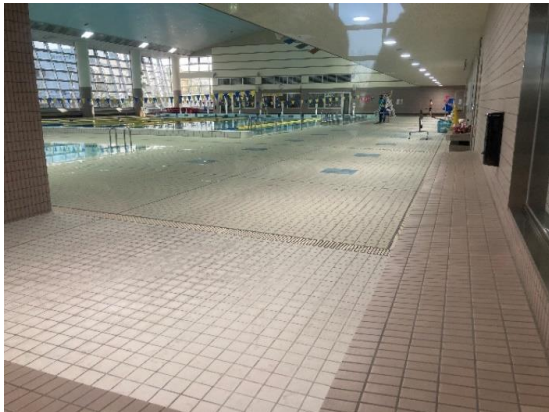


Image: Indoor aquatic facility



Image: Mermaid Palace swimming pool

As part of the trip, the delegation visited the Anjo Environment Clean Centre which is a 20-year-old incinerator facility the burns rubbish created within Anjo. Energy from the facility helps heat the water of a nearby swimming pool (Mermaid Palace), surplus energy helps create electricity for the grid, soot from the incinerator is converted to rock, and gases are treated and filtered before being emitted.



Image: Mermaid Palace swimming pool

Anjo is very well connected with offroad path infrastructure that is often complimented with significant vegetation in the way of trees, plants and hedges. The greening of the city exists through residential areas however is also completed to a high standard through its industrial areas. The investment in this infrastructure and its greening helps support a culture that promotes the use of alternative forms of transport.



Image: Offroad path



Image: Offroad path



Image: Bike shelters

Theme 2: Culture

The trip’s itinerary was carefully planned to expose the delegation to the local culture of Anjo, and more broadly Japan. The Anjo Historical Museum provided an opportunity to understand the history of the area, its early settlers, and the importance agriculture played in the region. Also included as part of the visit was a tour of the Okazaki Miso Factory, a visit to the manicured gardens of Jozan-En for a tea ceremony, and exposure to many traditional styles of food from within the region.



Image: Anjo Historical Museum



Image: Okazaki Miso Factory



Image: Jozan-En



Image: Original signed agreement



Image: Japanese cuisine



Image: Anjo Council Chambers

Theme 3: Anjo relationship and people

With 2023 marking the 35th Anniversary of the sister city relationship between Anjo Japan and Hobsons Bay, it was obvious that the partnership has been successful over the years and remains strong. The welcome that was provided by Anjo was warm, and well received by all delegates.

A welcome event took place in Anjo City Hall with the Anjo Mayor, CEO and Anjo executive representatives. The event also included tours of the Council Chamber and the observation deck on the upper level of the building.



Image: Live solar display



Image: Official photo

The Official Welcome Party is a key activity as part of the visit. Attendees included officials from Anjo City, the Anjo International Association, and the Hobsons Bay delegation. The event included speeches, the exchange of gifts and entertainment.



Image: Hobsons Bay gift to Anjo



Image: Anjo gift to Hobsons Bay delegates



Image: Anjo gift to Hobsons Bay



Image: Hobsons Bay International Friendship Association gift to Anjo International Association

Local Laws



Permits

- issued 0 disabled parking permits
- issued 154 residential permits
- issued 81 visitor permits
- issued 994 ticket machine permits
- logged 155 CHARM assignments
- impounded 0 derelict/abandoned vehicles
- issued 25 local law infringements

Parking

- 176 logged CHARM assignments
- issued 1280 parking infringements
- issued 88 warnings
- percentage of warnings issued were 15%

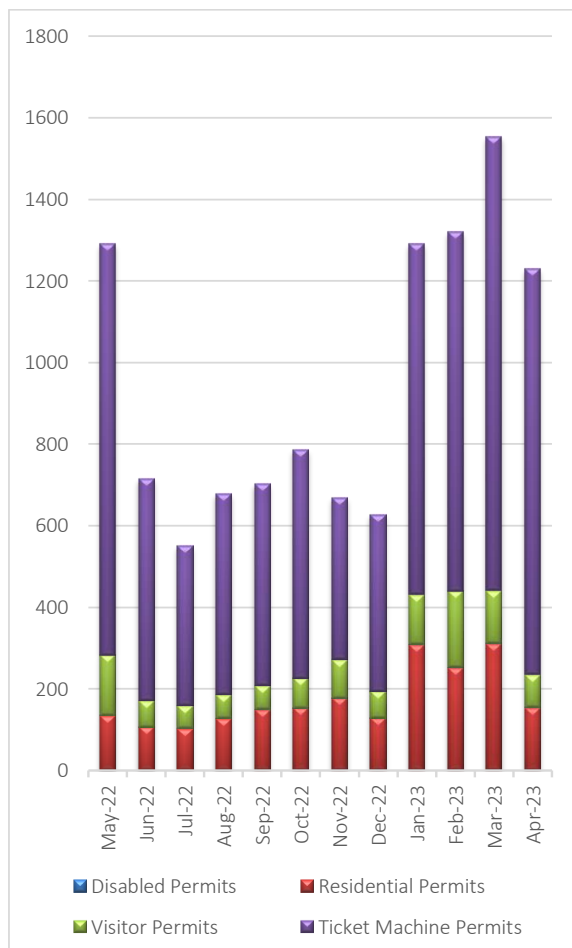


Image: the graph above illustrates the number of permits issued for April 2023

Animal management

- logged 196 CHARM assignments
- 14,723 animals registered
- impounded animals at Lost Dogs Home for (as at 31 March 2023)
 - o dogs – 10 dogs impounded, 2 released
 - o cats – 42 impounded, 2 released
- 13 animals returned to their owners by Council officers
- issued 25 animal infringement notices

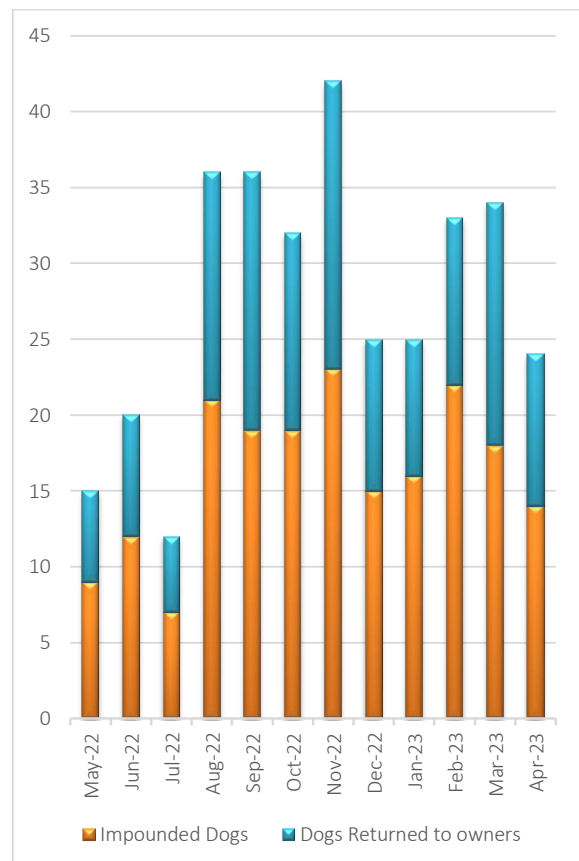


Image: the graph above reflects the number of dogs impounded and the number of dogs returned home by Council Rangers

Communications and Engagement



Communications

April 2023

Council manages corporate social media accounts on Facebook, LinkedIn and Instagram.

Social media is measured as below:

- Reactions – like, love, angry, haha, wow, sad



- Impressions – number of times our content is displayed in someone’s newsfeed
- Reach – total number of people who saw that content
- Engagement – number of times someone engaged with our content through clicks, reactions, shares comments

Total performance summary across all corporate social media accounts

Performance Summary		
View your key profile performance metrics from the reporting period.		
Impressions 409,941 ↘40.1%	Engagements 24,512 ↘18%	Post Link Clicks 3,961 ↘15.5%
Engagement Rate (per Impression) 6% ↗36.8%		

Follower growth across all corporate social media accounts

Audience Metrics	Totals	% Change
Total Audience	32,981	↗0.9%
Total Net Audience Growth	267	↘16%
Facebook Net Page Likes	89	↘19.8%
Instagram Net Follower Growth	75	↘13.8%
LinkedIn Net Follower Growth	103	↘14.2%

Total followers per social media accounts

Facebook

Audience Metrics	Totals	% Change
Fans	18,187	↗0.6%
Net Page Likes	89	↘19.8%
Organic Page Likes	110	↘18.5%
Paid Page Likes	0	→0%
Page Unlikes	21	↘12.5%

Instagram

Audience Metrics	Totals	% Change
Followers	7,425	↗ 1%
Net Follower Growth	75	↘ 13.8%
Followers Gained	108	↘ 15.6%
Followers Lost	33	↘ 19.5%

LinkedIn

Audience Metrics	Totals	% Change
Followers	7,369	↗ 1.4%
Net Follower Growth	103	↘ 14.2%
Organic Followers Gained	103	↘ 14.2%
Paid Followers Gained	0	→ 0%
Followers Lost	0	→ 0%

Performance per social media account

Facebook

Performance Summary
View your key profile performance metrics from the reporting period.

Organic and Paid ▾

Impressions 310,277 ↘ 45.6%	Engagements 21,761 ↘ 20.8%	Post Link Clicks 3,345 ↘ 14%
---------------------------------------	--------------------------------------	--

Engagement Rate (per Impression)
7% ↗ 45.4%

Instagram

Performance Summary
View your key profile performance metrics from the reporting period.

Organic and Paid ▾

Impressions 88,883 ↘ 16.1%	Organic Engagements 1,959 ↗ 38%	Profile Actions 305 ↗ 6.6%
--------------------------------------	---	--------------------------------------

Engagement Rate (per Impression)
2.2% ↗ 64.4%

Instagram stories

Story Metrics	Totals	% Change
Published Stories	9	↘ 50%
Story Replies	0	↘ 100%
Story Taps Back	94	↘ 65.3%
Story Taps Forward	2,662	↘ 65.2%
Story Exits	380	↘ 69.4%
Story Impressions	3,472	↘ 67.8%
Average Reach per Story	381.33	↘ 35.6%

LinkedIn


Performance Summary		
View your key profile performance metrics from the reporting period.		
Impressions 10,781 ↗ 30.7%	Engagements 792 ↘ 20.2%	Post Clicks (All) 616 ↘ 22.8%
Engagement Rate (per Impression) 7.3% ↘ 39%		

Highest engagement posts for 1 to 30 April


Facebook

Post Title	Date	Total Engagements	Reactions	Comments	Shares	Post Link Clicks	Other Post Clicks
From next Monday, there will be some changes to parking conditions in Altona. Along The Esplanade, 195 parking spaces...	Tue 4/25/2023 4:15 pm PDT	4,215	176	225	33	779	3,002
Indigenous plant giveaway 🌿 Thanks to Council is offering 100 Hobsons Bay househc transform their front or back gardens into a v	Wed 4/5/2023 7:24 pm PDT	1,568	228	80	29	472	759
Free parking permits for Hobsons Bay 🚗🚲 Did you know, as a Hobsons Bay resident could be eligible for a ticket machine or a res	Wed 4/26/2023 5:08 pm PDT	1,464	58	77	3	309	1,017

Instagram

 **hobsonsbaycc**
Mon 4/3/2023 10:00 pm PDT

Postcards recently paid a visit to Hobsons Bay to find there's something for everyone in Altona. Kris Smith visited Cherry Lake, th...




Total Engagements **160**


Likes **141**

Comments **10**

Saves **9**

 **hobsonsbaycc**
Thu 4/13/2023 4:06 pm PDT

Celebrate Hobsons Bay's unique heritage and culture through a range of performances, exhibitions, tours, and event...



Total Engagements **139**

Likes **127**

Comments **3**

Saves **9**

 **hobsonsbaycc**
Thu 4/27/2023 11:15 pm PDT

A great day yesterday for the official launch of the new pavilion at JT Gray Reserve in Williamstown. Members of the Gray family,...




Total Engagements **138**

Likes **132**


Comments **6**

Saves **0**

LinkedIn

 **Hobsons Bay City Council**
Wed 4/12/2023 5:21 am UTC

With \$58.08 million in major infrastructure projects across the city, and funding for more than 100 vital community services, Council's proposed annual budget for 2023-24 is now open for community...




Total Engagements **187**

Reactions **24**


Comments **0**

Shares **0**

Post Clicks (All) **163**

 **Hobsons Bay City Council**
Wed 4/5/2023 7:51 am UTC

Last night our Mayor and Councillors welcomed local state MPs Melissa Horne, Sarah Connolly and Mathew Hilakari to Hobsons Bay. It was a great opportunity to share and discuss the issues that are...



Total Engagements **175**

Reactions **27**


Comments **0**

Shares **0**

Post Clicks (All) **148**

 **Hobsons Bay City Council**
Wed 4/5/2023 4:30 am UTC

We're looking for an experienced events officer to join our busy and vibrant arts and culture team! This exciting role is permanent full time. Does this sound like you? If so, apply to join our team here:...



Total Engagements **145**

Reactions **12**

Comments **0**

Shares **0**

Post Clicks (All) **133**

Website top pages viewed

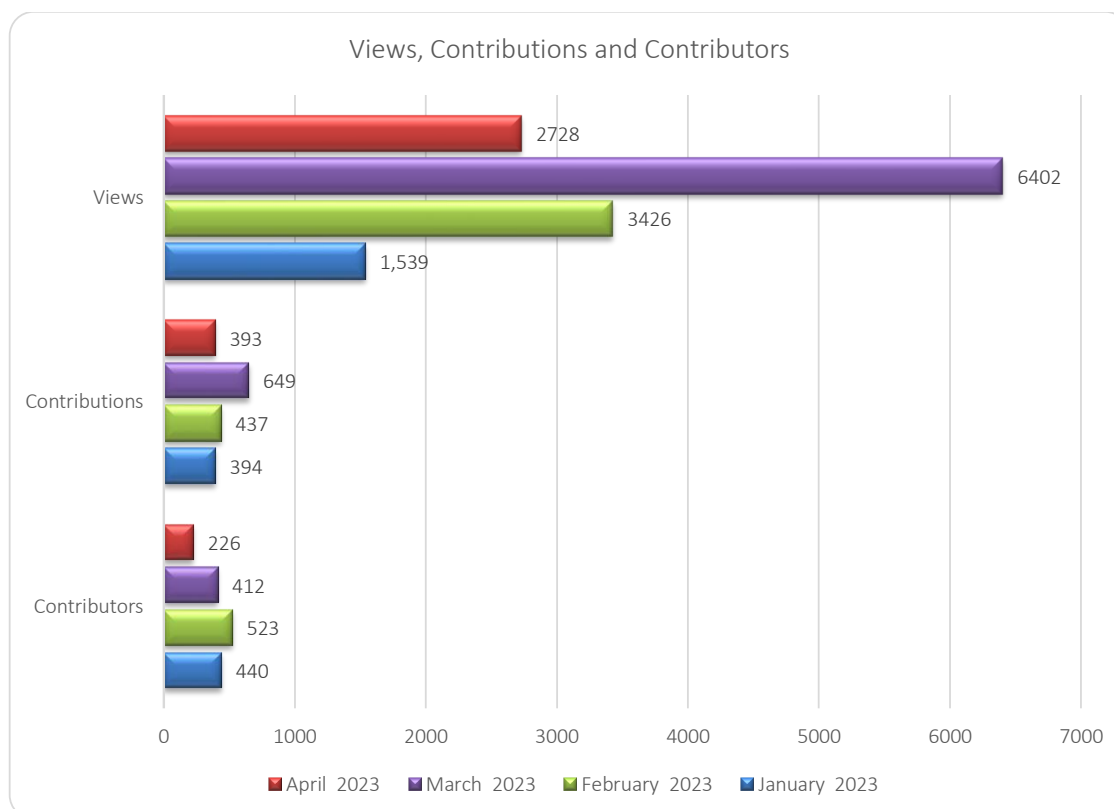
Page ?	Page Views ? ↓	Unique Page Views ?	Avg. Time on Page ?
	161,411 % of Total: 100.00% (161,411)	136,222 % of Total: 100.00% (136,222)	00:01:23 Avg for View: 00:01:23 (0.00%)
1. /Home	19,714 (12.21%)	16,390 (12.03%)	00:00:49
2. /Libraries	9,768 (6.05%)	7,219 (5.30%)	00:01:26
3. /Services/Payments-Permits/Parking-permits	3,430 (2.13%)	2,884 (2.12%)	00:04:39
4. /Services/Waste-Recycling/When-will-your-bins-be-collected	3,123 (1.93%)	2,761 (2.03%)	00:03:05
5. /Services/Planning-Building/Find-a-planning-application-in-Greenlight	3,047 (1.89%)	2,349 (1.72%)	00:03:27
6. /Services/Waste-Recycling/Hard-waste	2,577 (1.60%)	2,293 (1.68%)	00:04:16
7. /Services/Waste-Recycling	2,444 (1.51%)	2,008 (1.47%)	00:00:29
8. /Council/Work-Opportunities	2,219 (1.37%)	2,106 (1.55%)	00:02:54
9. /Council/Contact-us	2,171 (1.35%)	1,961 (1.44%)	00:02:50
10. /Services/Payments-Permits/Infringements	1,951 (1.21%)	1,763 (1.29%)	00:04:21

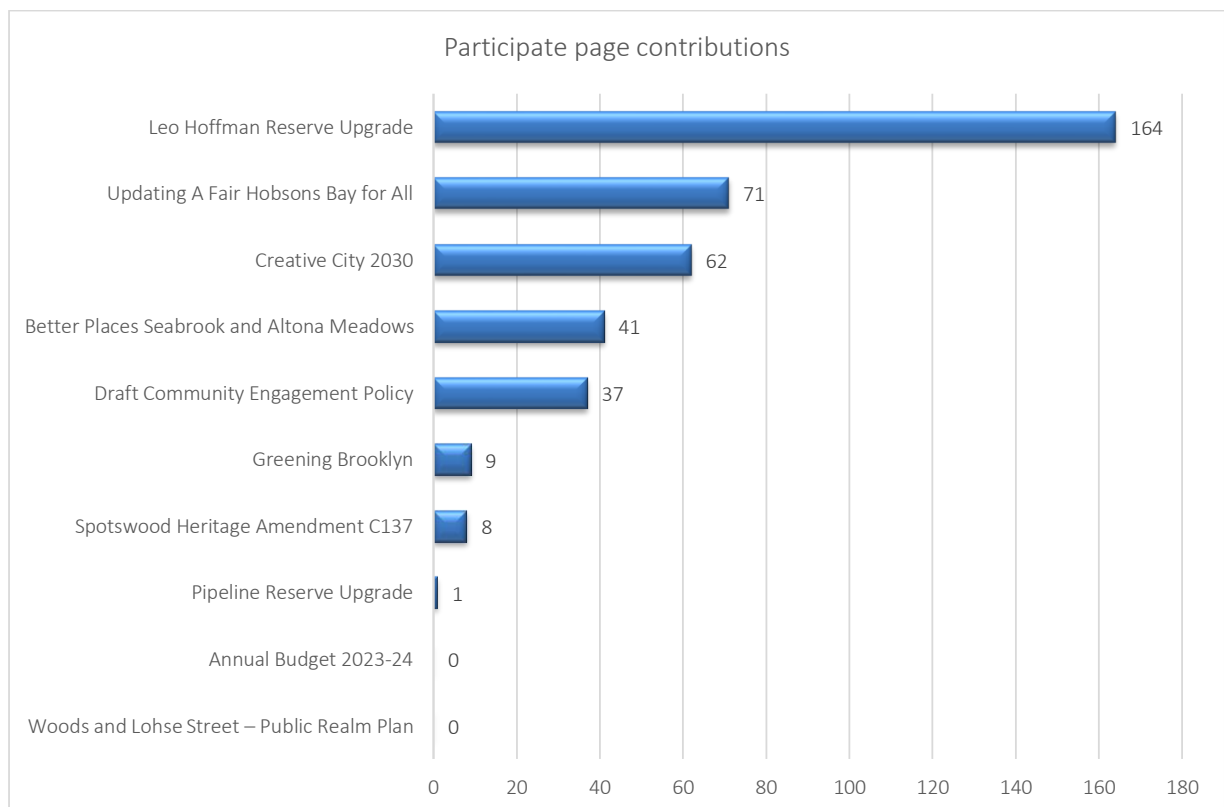
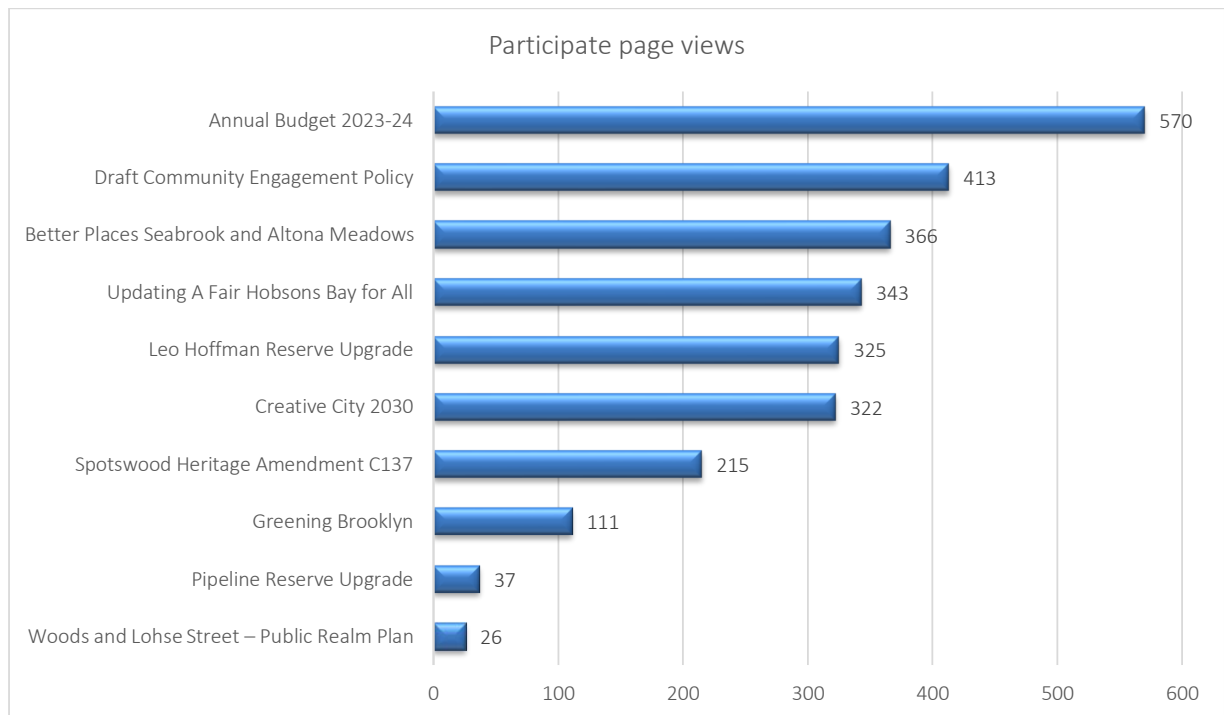


Engagement

Participate Hobsons Bay statistics

Participate Hobsons Bay, the online community engagement website participate.hobsonsbay.vic.gov.au received the below highlights for April 2023.





Current consultations

Pitch Your Project 2023-24



We are pleased to announce that 16 ideas have successfully passed a thorough assessment and have been selected to be included in the proposed annual budget for 2023-24. [Click to view the 16 successful ideas on Participate.](#)

Woods and Lohse Street – Public realm design concept plan



The Woods and Lohse public realm plan is a project aimed at upgrading the precinct to better serve the community's needs. This initiative is a direct result of the Better Places Laverton program. [Click to view the report on the feedback received.](#)

Updating A Fair Hobsons Bay for All



The consultation period for 'A Fair Hobsons Bay for All 2019-23' has now closed. We appreciate your feedback to create a more equitable and inclusive community. The revised policy framework is being reviewed, and updates will be provided as necessary [on Participate.](#)

Spotswood Heritage Amendment C137



The Spotswood Heritage Amendment C137 aims to apply the conclusions of the Spotswood Activity Centre Structure Plan Heritage Review by modifying heritage overlays in the Hobsons Bay Planning Scheme. The consultation period for the [proposed changes](#) ended in early April, and the feedback received from the community is currently being reviewed.

Greening Brooklyn



The "What We Heard" report summarising community feedback on the Greening Brooklyn project is now available on Participate. Your input helped shape the final draft of the landscape concept plan, which aims to enhance the Pipeline Reserve and provide opportunities for local youth. [Click here to view the report.](#)

Pipeline Reserve Upgrade



Thank you to everyone who provided feedback on the proposed upgrade of the playground and park amenities at Pipeline Reserve in Seabrook. We appreciate your input in shaping the draft concept design, which mentions improved landscaping, playground, social, family, and recreational zones. [View the report here.](#)

Better Places Seabrook and Altona Meadows



Council prepared six projects with initial ideas, opportunities, and potential pillar projects aimed at enhancing the quality of life in Seabrook and Altona Meadows. Results from this and previous rounds of consultation will be used to prepare a draft place guide which [will be available for comment on Participate.](#)

Leo Hoffman Reserve Upgrade



Feedback provided in a pre-design round of consultation will be used to upgrade of the Leo Hoffman Reserve playground and park amenities in Newport. Results from this round of consultation [will be published on Participate soon.](#)

Annual Budget 2023-24



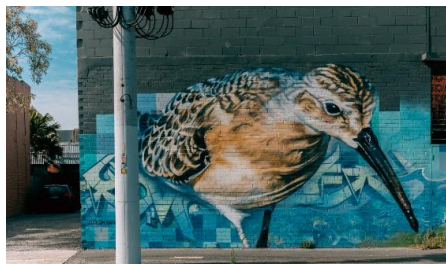
With the draft budget plan, based on an operational surplus of \$15.5 million, we plan to invest \$58 million in infrastructure and community services. We want your feedback to ensure we have achieved the right balance. [Share your thoughts through Participate](#) or reply by mail (reply paid) by mid-May.

Draft Community Engagement Policy



We want your thoughts on the Draft Community Engagement Policy 2023. It explains how we'll involve the community in important decisions. We also have a toolkit outlining consultation procedures. [Please join us on Participate](#) to customize your consultation preferences up until early May.

Creative City 2030



Council is developing a new Creative City plan to inform and guide its direction for arts and culture in Hobsons Bay. To contribute to the plan and have a voice, we invite you to complete the Hobsons Bay Creative City 2030 survey. Council will also host workshops both in person and online. You can [complete the survey and/or register for a workshop on Participate](#) until early June.

In-Person consultations

Leo Hoffman Reserve Upgrade

When: 2 April

Where: Leo Hoffman Reserve

Reports published from consultation – click links to view

[Pipeline Reserve upgrade](#)

[Greening Brooklyn](#)

[Hudson Road streetscape plan](#)

[Mary Street Reserve – master plan](#)



Advocacy

Hobsons Bay Wetlands Centre

Council and the Hobsons Bay Wetlands Centre Committee continued their advocacy campaign for funding for the Hobsons Bay Wetlands Centre by recently meeting with the Chair of Parks Victoria Board, The Hon. John Pandazopoulos and the CEO, Parks Victoria, Matthew Jackson to seek support for the proposed Centre. Parks Victoria are a key stakeholder for the project so it was great to see their positive interest in the project.

Youth Mental Health Services

Council continued its advocacy for increased youth mental health services like a 'headspace' to be located in Hobsons Bay/the inner west of Melbourne. We recently met with representatives from the Federal Department of Health and Aged Care to raise awareness of our service needs and to seek support from the Federal Government for more services.

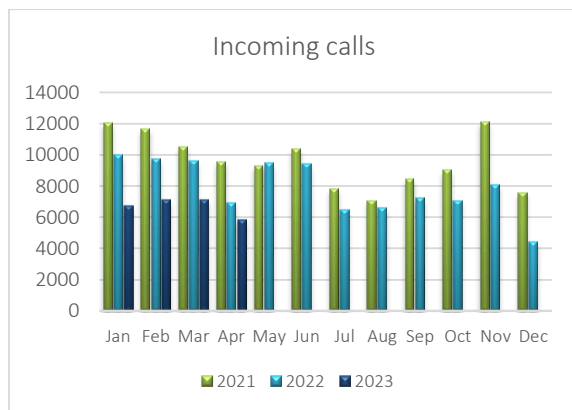
Our Performance

Customer Service



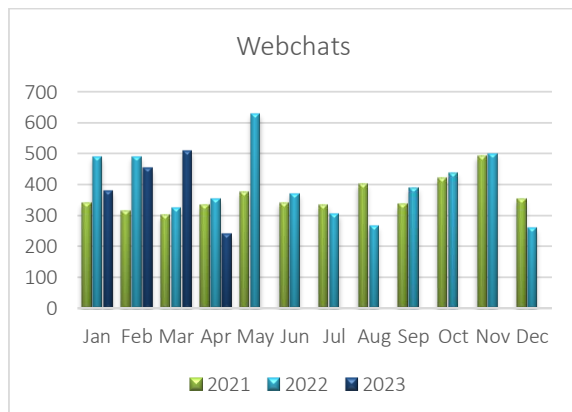
Hobsons Bay City Council is committed to improving our performance and better responding to our community needs.

One way in which we do this is to capture how our community approaches us to ensure we can make that process the best it can be to assist our customers with access to the information needed.



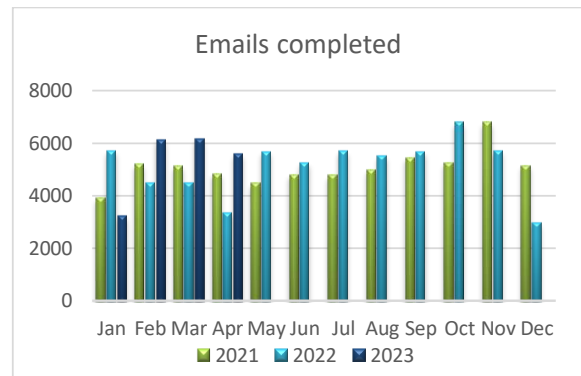
Top enquiries coming from incoming calls are for the following service areas:

- Waste (769)
- Local Laws (586)
- Rates (511)
- Animals (478)
- Assets (381)
- Town Planning (357)
- City Works & Amenities (189)
- Community care (182)



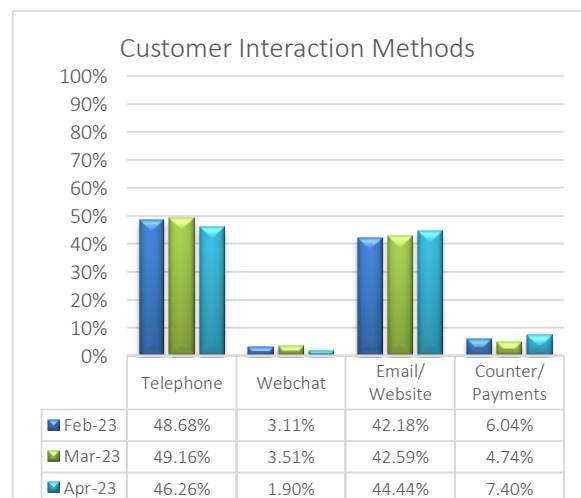
Top reasons our customers contacted Council via Web Chat related to the following service areas:

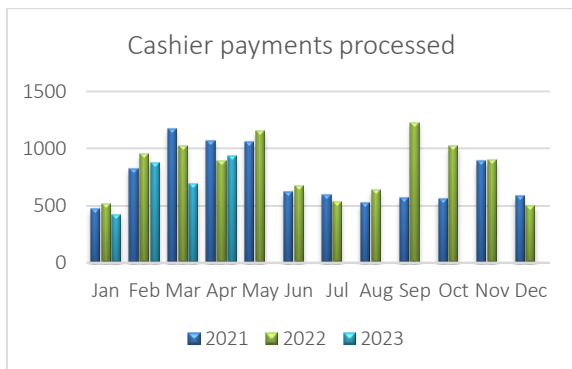
- Waste (52)
- Animals (28)
- City Works & Amenities (27)
- Local Laws (14)
- Town Planning (14)
- Assets (11)
- Building (10)
- Rates (10)



Top enquiries coming from emails are for the following service areas:

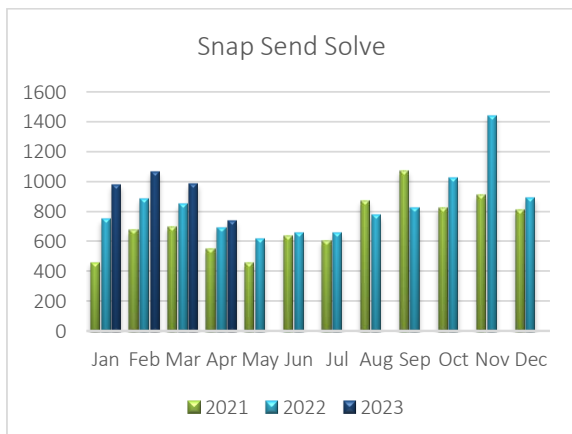
- Waste (485)
- City Works & Amenities (388)
- Local Laws (339)
- Cashier inbox (336)
- Animals (308)
- Rates (134)
- Town Planning (44)
- Health (26)



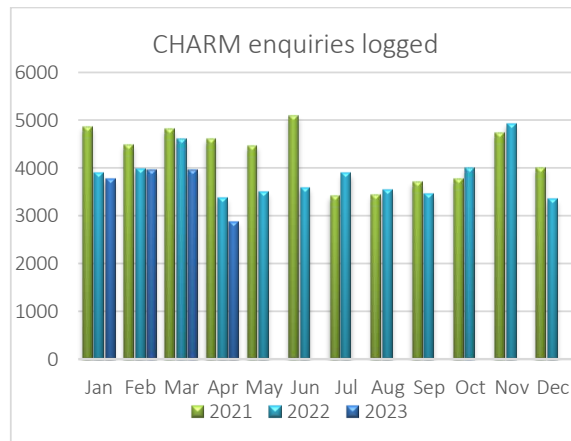


*A recent system change has resulted in a different form of counter statistics. Data has been slightly amended from total counter visits to payment interactions. We are working with Digital Services for an alternative solution.

Snap Send Solve is a free app for iPhone or Android devices that allows visitors and residents of Hobsons Bay to easily report issues to Council by capturing a photo of an issue and having this information sent directly to Council for review.

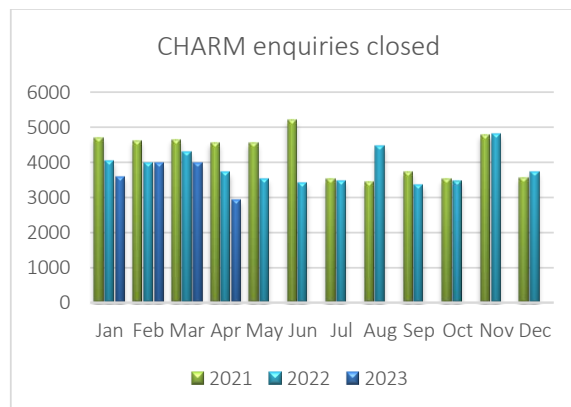


Council's Customer Help and Resolution Management (CHARM) system is used to record customer requests, which are primarily received via phone, Snap Send Solve and email.



Top CHARM requests logged related to the following service areas:

- Garbage (351)
- Green waste (295)
- Council building maintenance (210)
- Dumped rubbish (207)
- Animals (192)
- Parking (186)



Top CHARM requests closed related to the following service areas:

- Garbage (368)
- Green waste (293)
- Council building maintenance (227)
- Parking (201)
- Dumped rubbish (191)
- Animals (190)

Financial Management

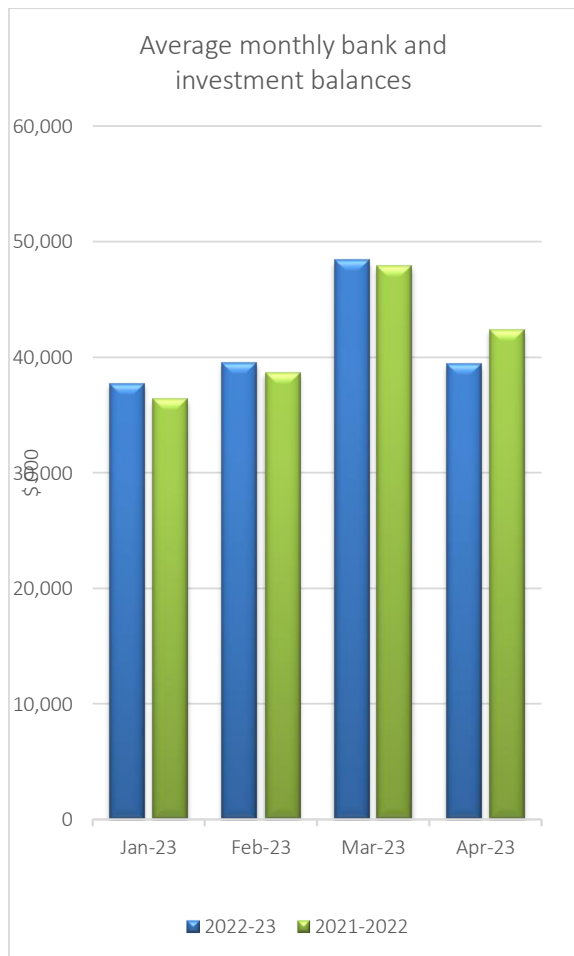
Financial statistics



The average balance of cash and investments during April 2023 was \$39.147 million. This compares to the average balance of \$48.376 million in March 2023 and an average balance of \$39.496 million in February 2023.

The closing balance of cash and investments at the end of April 2023 was \$32.69 million. Compared to \$42.371 million at the end of March 2023 and \$48.748 million at the end of February 2023.

Council investments at the end of April 2023 included cash and at call investments of \$3.69 million and term deposits of \$29.000 million, with an average date to maturity of 129 days and an average interest rate of 4.22 per cent.



The balance of outstanding debtors for April 2023 was \$3.241 million compared to an average balance of \$3.023 million over the last twelve months.

The value of receivables invoices issued in April 2023 was \$843,000 compared to \$2.287 million in March 2023.

Amounts outstanding over 90 days at the end of April 2023 total \$678,000 representing 20.9 per cent of total debts.

The most significant debtor groups over 90 days includes Property, City Maintenance, and Parks and Recreation.

The provision for doubtful debts at the end of April 2023 is \$678,000 or 20.9 per cent of total debts.

Hardship Policy



Any person who currently requires financial assistance can apply on-line and may be invited to enter into an interest free repayment plan and /or assessed for a waiver of rates if they provide evidence for consideration and meet the criteria as set out in Council's hardship policy.

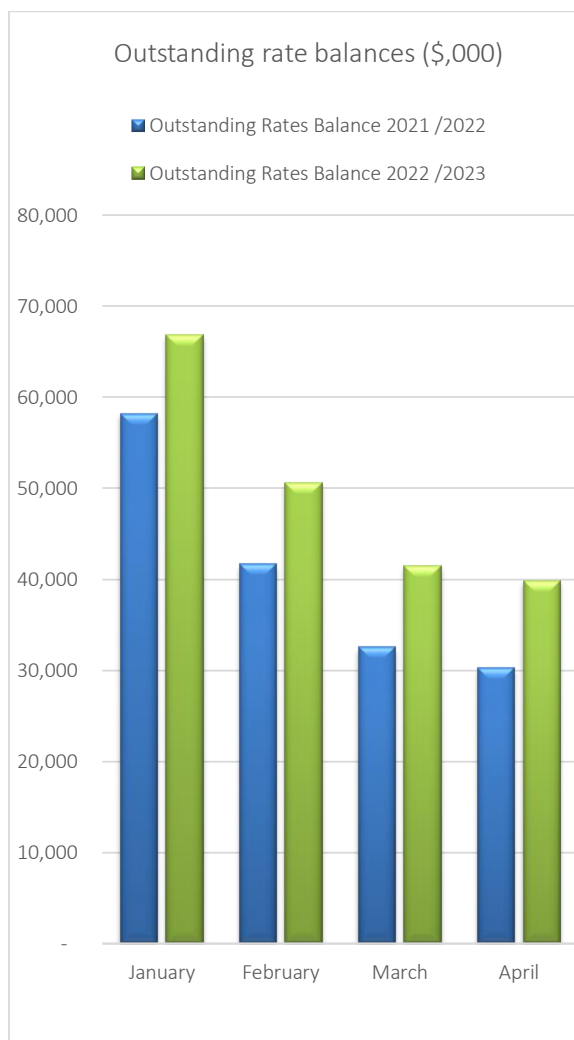
As of 30 April 2023, there is a total of 1,399 ratepayers, with arrears totaling \$4.1 million, listed on the Council's interest free repayment register. Council has waived over \$21,000 in interest charges since the start of the 2022-23 financial year. Council continued to receive regular payments in the month of April and the total amount of arrears outstanding (Including Fire Levy charges) as of 30 April 2023 is just over \$15 million.

Revenue statistics



Rates income as of 30 April 2023 was \$104.385 million compared to the year-to-date budget of \$104.037 million. This is made up of general rates (\$93.099 million), waste collection charges (\$10.055 million), supplementary income (\$822,000), including objections, payments in lieu of rates (\$363,000) and interest on rates (\$518,000). These are offset against the Covid 19 rate adjustment and rate waivers (\$17,000) and Council rebates (\$455,000).

The Outstanding Rates Balance as of 30 April 2023 was \$39.834 million. This is made up of general rates (\$38.664 million), pension rebates to be collected (\$.767 million) and hardship group (\$.403 million).



Procurement



Tenders have been called for the following:

- 2023.09, Recycling 2.0 Contamination Audits

The following tenders have been closed and are being evaluated:

- 2022.54, Street Sweeper
- 2023.08, Greenwich Reserve Cricket Nets Upgrade
- 2021.74, PA Burns Amenities Block
- 2023.03, Public Bin Surrounds Stage 2 and 3
- 2022.60., EOT Facility Landscaping and Irrigation Works
- 2023.06A, Kororoit Creek Shared Trail - Remedial Drainage and Guardrail Works

The following contracts awarded under Council resolution:

- 2022.51, Kim Reserve Field Redevelopment has been awarded to Green Turf Pty Ltd for \$1,410,391.54

The following contracts have been awarded under financial delegation:

- 2022.44, Cherry Creek Wetlands and Stormwater Harvesting has been awarded to Spiire Australia Pty Ltd for \$317,900.00

Enhancing our Community

The Infrastructure and City Services Directorate has delivered and continues to deliver a range of projects and services across the municipality.

West Gate Tunnel Project



Works on widening the West Gate Freeway from 8 lanes to 12 and strengthening bridges in Altona North, Brooklyn, South Kingsville and Spotswood are nearing completion. Works continued throughout April at the tunnel portals including ventilation structures, the freeway interchange areas, the Hyde Street ramps and the various paths and landscaping. The tunnel boring machine (TBM) used for the inbound tunnel is currently being removed and the outbound tunnel TBM is nearing breakthrough at the southern portal.



Image: Southern tunnel portal works

Works along the southern freeway verge to reinstate roads and footpaths in several local streets are progressing well with landscaping to follow.



Image: Millers Road works completion

West Gate Neighbourhood Fund (WGNF)

The West Gate Neighbourhood Fund is a \$10 million community grants program established by WGTP MTIA to support communities in Melbourne's inner west. This consists of four rounds of funding (two partnerships and two community grants rounds). The majority of funded projects have been successfully completed.

WGTP propose to seek applications for Round 2 Partnership Grants in May 2023.

Sports and Open Space Enhancement and Access Package

The open space and play space upgrades at Donald McLean Reserve in Spotswood were completed in March, completing the overall masterplan works for the Reserve. A community open day was held on 1 April 2023.



Image: Donald McLean Reserve Open Day

Landscaping and open space improvements including a new playground at WLJ Crofts Reserve in Altona North are progressing well and will complete the masterplan works in the reserve.



Image: Playground construction at WLJ Crofts Reserve

These open space and sporting improvement works are part of the Victorian Government's WGTP partnership with Council to fund the delivery of capital improvements up to the value of \$5 million.

Pavilion and Reserves update



Brooklyn Community Hall

The community hall is at lock-up stage. The external cladding has been installed and works are underway on the external decking. Internal works are also well underway, with tiling and painting underway.

The project comprises the refurbishment of the old hall, a new extension and new landscaped gardens. The redeveloped facility will provide a community kitchen, meeting rooms and flexible spaces for community groups. Completion of works is expected for early May 2023.



Image: Rejuvenated floorboards in the existing hall

JT Gray Reserve Pavilion

JT Gray Reserve Pavilion is now completed and has been handed over to the clubs for use. The new pavilion consists of 10 change rooms, social space, kitchens, first aid and umpire facilities as well as new formalised carparking around the venue.

An official opening was held on 27 April 2023 and was attended by State Government representatives, club members and stakeholders.



Image: JT Gray Reserve pavilion



Image: JT Gray Reserve car park

Crofts Reserve Open Space

The playground at Crofts Reserve in Altona North has been installed, pathways are being constructed and the artificial turf has been laid, completing the exterior works for the pavilion. Works are scheduled for completion by mid-June 2023.



Image: Crofts Reserve playground



Image: Crofts Reserve pavilion

Other Projects



Pier Street Construction

Council has commenced the remaining works for Pier Street Stage 4 (Queen Street to the Esplanade). This section of works is expected to be completed by early June 2023.



Image: Pier Street Altona

Works that will be undertaken in Pier Street between Queen Street and the Esplanade include:

- removal of the temporary asphalt layer on the footpaths in the trading section
- laying of pavers in the trading section
- installation of new street furniture
- planting of new street trees to improve canopy cover and reduce the urban heat island effect in this section of Pier Street
- lay the final wearing course on the road surface and line marking for the new parking spaces.

Throughout these works Council will run a social media campaign reinforcing that the shops between Queen Street and the Esplanade are still open for business.

Altona Meadows Library Fit Out

The refurbished library will provide a new and improved children's area, acoustic treatments and technology pods, new furniture and landscaping to the external courtyard. Works are on track for completion by the end of May 2023.



Image: Childrens room acoustic panelling being installed

Laverton School Precincts

In 2021, Council conducted a Laverton Schools Area Traffic Study that proposed changes to improve the safety and movement of people travelling in the area of Laverton. As part of this study raised crossings will be constructed at nine locations in Laverton as recommended by the study. Works are currently underway and expected to be completed by June 2023.



Image: Bladin Street Laverton

Maher Road Laverton, Shared User Path

A new shared walking and riding path has been completed along Maher Road connecting to the Aircraft Station underpass.



Image: New shared path on Maher Road

Drainage, Footpaths & Roads



Joiner Lane, Seaholme

Works on laneway and vehicle crossing in Joiner Lane are progressing well and will be completed by the end of April 2023.



Image: Steel reinforcement being laid in Joiner Lane

Cecil Street Williamstown Road Rehabilitation

Road rehabilitation works in Cecil Street between Thompson Street and Kanowna Street are progressing well with the new drainage, new asphalt footpath with kerb and channel now completed.

The bluestone edging and the road resurfacing will be completed by early May 2023.



Image: Footpath at the intersection of Cecil and Kanowna Streets ready for asphalt

Urban Forest Strategy



Native Plant Giveaways

On Sunday, 30 April 2023 Council held the first Native Plant Giveaway days where free boxes of indigenous plants were provided to over 100 Hobsons Bay households.

The giveaway encourages residents to use indigenous plants to further establish ecosystem connectivity and “steppingstones” with our Conservation Reserves.

Each giveaway event includes an optional landscape design “mudmapping” workshop with Angela from Newport Lakes Native Nursery!



Image: Indigenous plants for giveaway

Habitat Gardens Filming

Over the coming months the Habitat Gardens program will be expanding our online resources into a series of videos. The videos will include topics such as:

- how to plant in your home garden;
- the importance of nature in urban environments;
- steps for designing your garden; and
- native seed propagation.

These videos are developed through the Community Pitch Submissions *Native Plant Giveaway*, *Native Nature Strips* and *Growing the Community Through Propagating Plants*.



Image: Filming at Newport Lakes

Habitat Gardens in the Botanic Gardens

The team at the Botanic Gardens recently completed a new garden bed in the pinetum inspired by Council’s Habitat Gardens program.

The bed has been designed to demonstrate how indigenous plants can be used in your own gardens to support our local wildlife and look great!

The species chosen are indigenous to the area and include a combination of wildflowers, trees and grasses. The design concept focused on the use of indigenous plants and natural elements of our local ecosystems such as the combination of sand and basalt rocks and logs. By incorporating different textures and layers it mimics nature in this designed garden bed.



Image: Habitat Gardens bed in the Botanic Gardens

City Nature Challenge

The annual City Nature Challenge Nature is running from 28 April to 1 May 2023. This a global citizen science event where participants go out into their garden, local park or nature reserve to take photos of nature and submit these to iNaturalist. Cities around the world compete to have the highest number of observations that contribute to the global tally.

Hobsons Bay is participating for the first time this year and is a part of the Greater Melbourne with 27 other Melbourne local government areas. The Conservation team have created a “Nature of Hobsons Bay” iNaturalist page and the observations from the challenge will automatically be added to our ongoing record of species. This platform provides the team with information on what species are found in Hobsons Bay.

To assist with observation numbers, the Conservation team ran a City Nature Challenge event on 28 April at Truganina Park and Laverton Creek.

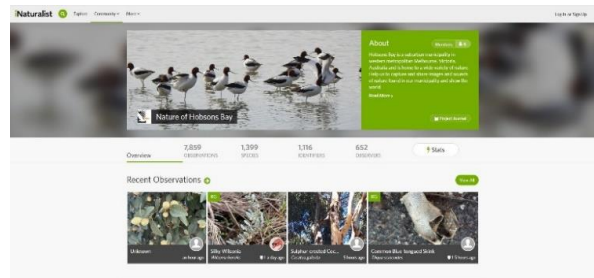


Image: Hobsons Bay’s iNaturalist page

Parks Maintenance

Annuals of orange, purple and white pansies have been planted in the Cenotaph at Williamstown for ANZAC Day.

In the language of flowers, pansies were traditionally given to symbolise that the giver was thinking of you or have thoughts of you.



Image: Ferguson Street Cenotaph

Elm Leaf Beetle Program

This year’s elm leaf beetle program started on 1 May and will be completed in three weeks. A total of 435 elm trees will be treated as part of the program, with most of the trees being in the Williamstown area. Information on the program can be found on our [Caring for our Elm trees](#) webpage.





Street tree planting

The Street tree planting program will commence shortly and run until September 2023. There will be approximately 2,500 new trees planted in streets and approximately 2,500 new trees planted in parks across Hobsons Bay. Tree locations can be viewed via the online tree planting map at [-Tree Plantation Webapp \(arcgis.com\)](#)



Image: Trees on their way to the nursery

Stevodore Street Tree Renewals

Following consultation with the Stevedore Street residents in Williamstown, a staged approach will be used to replace underperforming trees in the street as well as including six new cut out locations and reinstating three vacant cut outs. A total of 23 trees will be planted.

Green Streets consultations

Stage 2 consultations with the 2023 Green Streets (Fidler Court Altona, Richards Court Brooklyn and Maclean Street, Williamstown), took place on 30 April 2023. Residents were presented with tree planting options based on their feedback.

Upcoming Tree and Plant Giveaways

- Saturday, 20 May – Volunteer Expo 11am to 2pm at the Civic Centre
- Saturday, 20 May – Council Plus Launch 10am to 2pm at the Newport Community Hub
- Sunday, 4 June – Olives to Oil Festival 12pm to 3pm at the Newport Community Hub

Conservation news

Laverton Storm Water planting project

The Conservation team commenced the planting of 2,500 *Gahnia Filum* - Chaffey saw-sedge within the Laverton Stormwater Harvesting site. These large-scale plantings will provide additional refuge for our iconic Altona Skipper Butterfly population. *Gahnia Filum* is a hardy and robust species that has a large root system which will assist in stabilising areas particularly during heavy rainfall events.



Image: Plantings at the Laverton Stormwater site

Ecological burn at Maidstone Street and Horsburgh Drive Grasslands

Ecological burns took place at the Maidstone Street and Horsburgh Drive Grasslands recently.

The burning of grassland is vital in the long-term survival of grassland systems. Burns create inter tussock spaces, which provides areas for natural regeneration to occur and open up spaces critical for ground dwelling fauna.

Burning also assists with weed management through easier weed identification and reducing off target damage. This is where adjoining plants can accidentally be sprayed during general weed control operations.

Frequent burning also reduces wildfire threats to assets by reducing accumulating biomass.

Grassy Woodland Restoration Project

The Conservation team have been restoring the Coastal Woodland habitat at the Altona Coastal Park (ACP). Works included weed control and laying down jute matting prior to our upcoming revegetation works.

This is a trail to understand the effectiveness and efficiency of jute matting compared to mulching as a revegetation technique within the saltmarsh/coastal environment. Approximately 6,000 tube stock will be planted within the reserve with both World Environment Day and National Tree Day being hosted at the Altona Coastal Park.

Conservation Events

On 9 April, the Conservation rangers with committed community members from the Friends of Newport Lakes spread a large quantity of mulch throughout a number of garden beds. The mulch will help to suppress the weeds while giving our established trees a kick along.

On 13 and 15 April, as part of the Nature for Health and Wellbeing program hosted by the EnviroCentre, the Conservation Ranger took members of the public on nature walks. On the walk they talked about plants and animals in wetlands around Laverton Creek, including saltmarsh areas and freshwater systems.

On 21 April the Ranger visited the Men's Shed to provide members with information about snakes including how to avoid attracting them into their property and what to do if they see one. This annual chat attracted 30 volunteers.

Better Places Project

What is Better Places? It is a new way that Council designs and delivers projects, thinking in terms of overall 'places' rather than individual 'pieces.'

To create a great place, you have to think about the place as a whole, understanding and enhancing the things that make it special and knowing the elements needed to make the place better into the future. Fundamentally driven by community... for community.

The success of Better Places is actively involving community to help shape the places they live in and use. Feedback and ideas gathered during multiple stages of community consultation informs the development of a 'Place Guide' that includes practical on the ground projects and initiatives the community have asked for, and that community wants and needs.

What are the things that make a great place? How would you go about making the place you call home an even better place live into the future?

Better Places creates a shared community vision that captures the values and aspirations of the people who live, work, and play in the place and then undertakes real projects and improvements that bring the vision to life.

Better Places happens in stages

Stage 1 – Community consultation – LOVE, CHANGE, IDEAS

Stage 2 – Community consultation of draft vision, principles, and project ideas
(based on community feedback from Stage 1)

Stage 3 – Consultation on draft Place Projects

Stage 4 – Consultation on draft Place Guide

Stage 5 – Place Guide presented to Council for endorsement

Stage 6 – Better Places projects implementation

Laverton Place Projects

The [Better Places Laverton Place Guide](#) was endorsed by Council in late 2020.

Recent Place Guide project highlights include:

- **Project 9b, Places + Spaces – Railway Avenue** – the [concept plan](#) is moving forward with proposed budget for the delivery of road reconstruction, traffic calming devices and footpath from Aviation Road to Merton Street. This first stage of construction is the Southern side of Railway Avenue.

Detailed design documents along with cost estimates are expected by June 2023 with delivery of the whole project due to commence from 1 July 2024.

- **Project 3 LOVE LAVERTON PARKS – ‘PARK HOP’** event was held on Saturday 15 April 2023. A chance for Laverton locals to celebrate and connect at the new parks + enjoy FREE activities and giveaways.

[Love Laverton Parks](#) is the creation of a complementary suite of parks that offer choice and a variety of activities for people of all ages and abilities. A fast-tracked park upgrade program in response to community feedback received during the Better Places Laverton engagement stages.

The event included:

- Hop Stop 1. Frank Gibson Reserve, 1 Sumers St, Laverton - basketball, cricket and junior soccer activities + FREE ice cream
- Hop Stop 2. Dick Murdoch Reserve, 26 Cole St, Laverton – early years supported playgroup activities + FREE coffee and tea
- Hop Stop 3. Beverly Anton Reserve, 22 Whittaker St, Laverton - a Teddy Bear Picnic based on the beloved children's book, *We're Going on a Bear Hunt* + FREE books
- Hop Stop 4. Whittaker Avenue Reserve, 48 Bladin St, Laverton - lucky dip and chalk art + FREE face painting
- Hop Stop 5. Bladin Street Reserve, 3 Bladin St, Laverton - Habitat Gardens and Urban Forest Strategy + FREE native plants
- Hop Stop 6. Henderson Street Reserve, 18 Henderson St, Laverton - sustainability showcase + FREE sausage sizzle on the new BBQ facilities
- It was great to see around 900 visits to the new parks on the day! So many kids, families and dogs walking from park to park... Laverton truly came to life



Image: PARK HOP – Frank Gibson Reserve



Image: PARK HOP – Dick Murdoch Reserve

Spotswood and South Kingsville Place Projects

The [Better Places Spotswood + South Kingsville Place Guide](#) was endorsed by Council on 12 October 2021.

Recent Place Guide project highlights include:

- **Project 13 – BETTER VILLAGES – Hudsons Rd Streetscape improvements** – a draft master plan has been prepared and community consultation kicked off at the Spotswood Slow Food market on 25 February 2023. Feedback was open until 27 March 2023 with Council officers currently reviewing feedback received. To view the draft master plan, visit the Participate project page: [Hudsons Road Streetscape Plan](#)
- **Project 3 – HIDDEN HISTORIES** aims to uncover and catalogue local stories that celebrate the history and character of Spotswood and South Kingsville. A short film was launched on Saturday 29 April in conjunction with [The National Trust, Heritage Film Festival](#). A beautifully filmed little gem captured through listening to, and filming those in the know... locals.

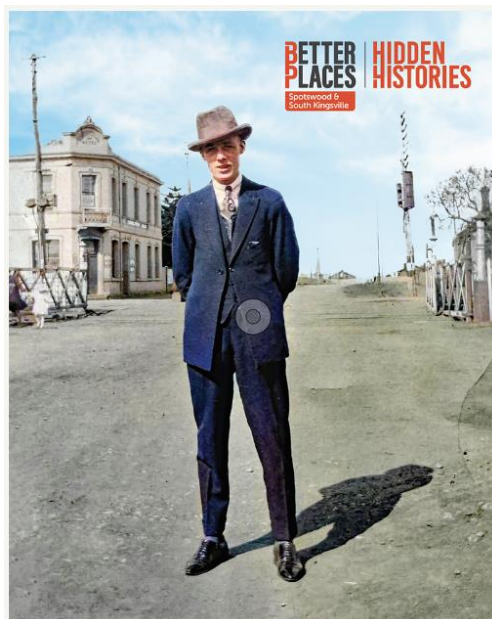


Image: Jack Hevey, Circa 1928 standing on Hudsons Road Spotswood (railway crossing and Spotswood Hotel in background)

Better Places Brooklyn & Altona North

The Better Places [Brooklyn + Altona North](#) final Place Guide was endorsed by Council in December 2022.

Three key themes were uncovered from thousands of pieces of community feedback:

Key Themes

THEME ONE	THEME TWO	THEME THREE
<p>Improving the liveability and amenity of the area.</p> 	<p>A place that is easier and safer to move around.</p> 	<p>Bringing the community closer together.</p> 
<p>Liveability and Amenity</p> <p>For many residents in the local area, their first priority is to reduce air, noise, and rubbish pollution, and focus on making the area a healthier, cleaner and greener place to live.</p>	<p>Move with safety</p> <p>Making Brooklyn and Altona North more walkable and bike-friendly, and developing new initiatives and projects that will promote a shift towards public transport and active transport into the future.</p>	<p>Closer Community</p> <p>Continuing to celebrate and strengthen the diversity and different characters Brooklyn and Altona North while finding new ways to bring the community closer together</p>

The abovementioned themes drive [Place Guide](#) projects for community... by community. A mix of both shorter-term projects that are able to be implemented quickly, as well as longer term projects that are larger and more complex and will require more extensive design and consultation. The [draft budget](#) currently open for community feedback until 14 May 2023 includes a proposed \$3,840,000 for the Brooklyn & Altona North programme spanning from 2023 to 2028.

Better Places Seabrook and Altona Meadows

Stage three community consultation on draft projects opened 15 March and will close on 15 April 2023. Let us know what you think of the Better Places projects drafted from community thoughts and ideas received. Visit the Participate project page: [Better Places Seabrook + Altona Meadows](#).

6 PROJECTS

TO HELP MAKE SEABROOK AND ALTONA MEADOWS BETTER PLACES TO LIVE.....

BETTER PLACES
Seabrook & Altona Meadows

- Thinking Cleaner + Safer
- Neighbourhood Character + Greening
- Better Villages
- Better Places + Spaces
- Improving Our Walking + Cycling Network
- Improving Our Transport Network



Financial Report for the period ended 31 March 2023

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Financial Statements

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2. Summary Capital Works Program
3. Available Funding Result
4. Summary Cash Flow Statement
5. Reconciliation of Operating Result and Net Cash flows from operating Activities
6. Summary Balance Sheet
7. Financial Plan Projections

Hobsons Bay City Council – Financial Report for the period ended 31 March 2023

1. Income Statement

	Actual @ 31/3/23 \$'000	YTD Budget @ 31/3/23 \$'000	YTD Budget Variance \$,000	Budget 2022-23 \$'000	Forecast 2022-23 \$'000	Ref	Forecast Variance \$'000
Income							
Rates and charges	93,928	92,511	1,417	123,550	124,979	1.1	1,429
Statutory fees and fines	4,051	3,153	898	4,551	5,474	1.2	923
User fees	3,827	4,349	(522)	5,438	4,824	1.3	(614)
Grants - operating	6,521	7,145	(624)	10,359	9,576	1.4	(783)
Grants - capital	8,267	3,801	4,466	6,183	10,743	1.5	4,560
Contributions - monetary	2,898	5,069	(2,171)	6,759	5,346	1.6	(1,413)
Net gain on disposal of property, infrastructure, plant and equipment	7	37	(30)	50	52		2
Other income	3,672	2,949	723	3,475	4,214	1.7	739
Total Income	123,171	119,014	4,157	160,365	165,208		4,843
Expenses							
Employee costs	42,763	43,488	725	58,119	57,661	1.8	458
Materials and services	37,035	38,134	1,099	50,069	51,777	1.9	(1,708)
Bad and doubtful debts	689	235	(454)	314	705	1.10	(391)
Depreciation	20,572	17,633	(2,939)	23,519	27,708	1.11	(4,189)
Amortisation	163	347	184	463	266	1.12	197
Borrowing costs	439	395	(44)	527	684	1.13	(157)
Finance cost - leases	15	18	3	24	35		(11)
Other expenses	680	770	90	991	1,049	1.14	(58)
Total Expenses	102,356	101,020	(1,336)	134,026	139,885		(5,859)
Surplus / (deficit)	20,815	17,994	2,821	26,339	25,323		(1,016)

Hobsons Bay City Council – Financial Report for the period ended 31 March 2023

1. Income Statement (cont.)

Explanation of Variances

The operational surplus for the period ended 31 March 2023 was \$20.815 million, compared to the year to date (YTD) budget surplus of \$17.994 million. The year-end budget surplus of \$26.339 million has decreased to a forecast year-end surplus of \$25.323 million.

The decreased forecast surplus of \$1.016 million compared to budget is explained as:

- 1.1 Rates and charges are expected to be \$1.429 million over budget mainly due to an increase in the amount originally raised as rates (\$610,000) and supplementary rates throughout the year (\$300,000), which have both increased due to property development.

Increased income is also expected for waste charges (\$251,000), payments in lieu of rates - mainly due to an adjustment associated with the prior year (\$193,000), increased interest on rates (\$50,000) and a reduction in rebates (\$24,000).

Actual income is \$1.417 million over the YTD budget. This is mainly due to supplementary rates - this amount is expected to reduce once objections are processed (\$523,000) and the amount originally raised for rates (\$491,000). Other income over YTD budget includes waste charges (\$195,000), the prior year adjustment for the payment in lieu of rates (\$97,000), and interest on rates (\$33,000).

- 1.2 Statutory fees and fines are expected to be \$923,000 over budget.

The most significant forecast increases relate to parking infringements - largely offset by an increase to the doubtful debts provision (\$600,000), increased demand in town planning application fees (\$200,000), more proactive town planning enforcement (\$46,000), animal registrations (\$30,000) and road management fees (\$29,000).

Actual income is \$899,000 above the YTD budget mainly due to increased parking infringements (\$756,000), the higher demand for planning applications (\$65,000), animal registrations (\$41,000), road management fees (\$22,000) and town planning enforcement (\$17,000).

- 1.3 User fees are expected to be \$614,000 under budget.

The most significant forecast decreases relate to the removal of additional revenue associated with residential parking permits (\$871,000) and the delay of paid parking at Altona beach (\$180,000).

Other forecast decreases relate to road opening reinstatements (\$87,000), building information fees (\$40,000), private subdivision supervision fees (\$38,000) and renewable energy certificates (\$36,000).

Increases are forecast for food safety permits (\$143,000), property insurance premium reimbursements from tenants (\$140,000), venue facilities hire – offset against an increase in materials and services (\$100,000), Laverton Hub casual hire fees (\$92,000), Planned Activity Groups (\$62,000) and town planning fees (\$38,000).

Actual income is \$522,000 under the YTD budget mainly due to the removal of paid residential parking permits (\$600,000), paid parking at Altona Beach (\$127,000), a delay with revenue debt recovery (\$110,000), road opening reinstatement fees (\$100,000) and building information fees (\$35,000).

Hobsons Bay City Council – Financial Report for the period ended 31 March 2023

The most significant income over the YTD budget relates to food safety permits (\$141,000), an increase in casual hire at the Laverton Hub (\$106,000), town planning fees (\$82,000), venue facilities hire (\$73,000), Planned Activity Group fees (\$40,000) and Health Act permits (\$23,000).

1.4 Operating grants are expected to be \$783,000 under budget.

The most significant decreases relate to Recycling 2.0 - transferred to capital grants and some funding deferred until 2023-24 (\$533,000). Forecasts have also been decreased for the centre based respite (\$454,000), cottage respite (\$300,000), support for carers (\$197,000) and school focus youth services (\$85,000) programs. The cessation of the sector support development program (\$64,000) and Federal Financial Assistance General Purpose funding (\$60,000) have also led to decreased forecasts.

Forecast increases related to income deferred from 2021-22, including COVID Culturally and Linguistically Diverse Local Partnerships (\$282,000), On the Road Again (\$160,000), Care and Assessment Management – over 65 (\$120,000), Women in Building (\$96,000), Coastal Planning for Sea Level Rise (\$30,000) and the Freeza program (\$26,000).

Other significant forecast increases relate to new funding received for statutory planning file digitisation (\$127,000), the school crossing subsidy (\$66,000), preschool field officer (\$51,000), Federal Financial Assistance Local Road funding (\$50,000) and the weed management program (\$49,000).

Actual income is \$624,000 below YTD budget mostly due to Recycling 2.0 (\$661,000), Centre Based Respite (\$312,000), Cottage Respite (\$211,000) and Support for Carers (\$197,000).

Other income under YTD budget relate to timing differences for the Level Crossing Removal project (\$185,000), the West Gate Tunnel project (\$65,000), the West Gate Tunnel Neighbourhood fund (\$25,000) and immunisations (\$40,000).

Operating grants over the YTD budget relate to deferred funding allocated for COVID Culturally and Linguistically Diverse Local Partnerships (\$282,000), On the Road Again (\$160,000), Women in Building (\$96,000) and Coastal Planning for Sea Level Rise (\$30,000).

Other income above YTD budget relates to file digitisation (\$100,000), maternal and child health (\$79,000), early years CALD Outreach (\$70,000), additional school crossing subsidy (\$66,000), additional library funding (\$63,000), preschool field officer funding (\$58,000) and new weed management funding (\$49,000).

1.5 Capital grants are expected to be over budget by \$4.560 million due income that was originally budgeted to be received in 2021-22 that is now expected to be received in 2022-23 (\$2.6 million) and an increase in unbudgeted capital grants (\$2.623 million), offset against income that will be carried over to next year's program (\$663,000).

For a more detailed explanation, please refer to the summary capital works program section of this report and the detailed capital works attachment.

1.6 Monetary contributions are expected to be under budget by \$1.413 million. Developer contributions for Precinct 15 in Altona North are now expected to be delayed until 2023-24 (\$972,000), while reductions are forecast for open space contributions (\$610,000) and the Port Phillip Woollen Mills developer contribution plan (\$35,000). These reductions are reflected in reserve adjustments.

Hobsons Bay City Council – Financial Report for the period ended 31 March 2023

Forecasts for capital works contribution have been included in relation to West Gate Tunnel open space enhancements (\$136,000), the unsealed laneway upgrade program (\$34,000), road rehabilitation (\$20,000), Digman reserve feasibility masterplan (\$10,000) and cricket nets (\$3,000).

Actual income is \$2.171 million under the YTD budget due to the expected delay in receiving developer contribution for Precinct 15 in Altona North (\$1.576 million), open space contributions (\$773,000), Port Phillips Woollen Mills (\$26,000) and unbudgeted contributions towards capital works (\$203,000).

- 1.7 Other income is expected to be over budget by \$739,000.

Forecast increases relate to interest on investments - resulting from higher interest rates and cash reserves (\$708,000) and Williamstown Town Hall rental income (\$55,000). The most significant decreases relate to sports facility seasonal rental (\$22,000) and market community bookings (\$20,000).

Actual income is \$723,000 over the YTD budget mainly due to an increase in interest on investments (\$508,000), timing differences for property rental income (\$190,000) and an increase in venues rental (\$109,000). Actual income under the YTD budget mainly relates to sports facility seasonal rental (\$47,000).

- 1.8 Employee costs are expected to be under budget by \$458,000.

The most significant forecast saving is due to vacancies in excess of budget expectations (\$680,000).

The most significant forecast increase relates to Community Learning and Service Centres - the Council+ program makes it easier for the community to access Council services and interact with Council through various service centres across the municipality (\$486,000). Other forecast increases include strategy, sustainability and economy project management costs (\$121,000), Esplanade activation (\$119,000) and planning and building major projects (\$104,000).

Forecast increases offset against increased income or reductions in materials and services relate to aged care and assessment services (\$133,000), building and construction regulations (\$87,000), asset engineering (\$86,000), and extending the Community Space Planner position which is funded from the open space and recreation reserve (\$73,000).

Actual expenditure is \$725,000 under the YTD budget mainly due to staff vacancies, whilst the Council+ program is the most significant over expenditure when compared to the YTD budget (\$508,000).

- 1.9 Materials and services are expected to be over budget by \$1.708 million.

The most significant forecast increase relates to the inclusion of projects related to the IT Strategy, which were carried over from 2021-22 or bought forward from 2023-24 (\$1.824 million).

The forecast increase for operational projects included in the Capital Works Program is a transfer of costs rather than an additional cost from a financial perspective (\$186,000).

Forecast increases related to income deferred from 2021-22 include expenditure associated with the COVID-19 Culturally And Linguistically Diverse local partnership program (\$282,000) and the On the Road Again program (\$161,000).

Hobsons Bay City Council – Financial Report for the period ended 31 March 2023

Forecast increases have also been included for additional funding received for the statutory planning file digitisation project (\$105,000), and developer contribution plans (\$43,000).

The most significant unfunded forecast increases relate to COVID-19 cleaning requirements (\$270,000), online collection costs (\$207,000), insurance premiums (\$173,000), fuel costs (\$120,000), recruitment services (\$115,000), workshop operations (\$90,000), statutory planning legal fees (\$60,000), IT telecommunications and operations (\$57,000), M9 waste regional collaboration (\$53,000), food service costs for planned activity groups (\$34,000), the Civic Centre exhibition program (\$30,000) and maintenance costs associated with the delay in receiving the sweeper and compactor replacement (\$30,000).

The most significant forecast decreases relate to waste contracts - resulting from lower presentations rates and tonnes processed (\$569,000), water - due to high rainfall (\$148,000), planning scheme amendments projects - carried over into 2023-24 (\$216,000), asset audits - transferred to employee costs (\$100,000), Fines Victoria lodgement fees (\$87,000), and building and construction regulations - transferred to employee costs (\$88,000).

Forecast decreases have been included for Centre Based (\$441,000) and Cottage Respite (\$300,000) respite in-line with similar income forecast decreases.

Actual expenditure is \$1.099 million under the YTD budget mainly due to savings in waste contracts (\$553,000), low utilisation of community support contracts for respite (\$545,000), community grants and funding (\$295,000), strategic planning scheme amendments (\$198,000), building and construction regulations (\$148,000) and VCAT appeals professional services (\$124,000).

Actual expenditure under YTD budget includes animal control (\$93,000), rates debt collection expenditure (\$90,000), corporate training (\$76,000), water costs - due to higher rainfall (\$75,000) and local trader support (\$50,000).

Actual expenditure over the YTD budget is mainly due to budget timing differences for roads and drainage reactive works (\$1.043 million).

Actual expenditure also over YTD budget includes the funded On The Road Again program (\$150,000), COVID-19 Culturally And Linguistically Diverse local partnership program (\$122,000) and the Statutory Planning file digitisation project (\$93,000). Other actual expenditure over the YTD budget relates to insurance premiums (\$178,000), the recruitment program (\$139,000) and fuel costs (\$93,000).

- 1.10 Bad and Doubtful Debts are expected to be over budget by \$391,000. This generally relates to the continued collection delays at Fines Victoria for unpaid parking fines - offset by an increased forecast to associated income (\$340,000). There is also an increase doubtful debt in relation to property services (\$50,000).
- 1.11 Depreciation is expected to be over budget by \$4.189 million. The forecast has been increased due to purchases and revaluations that occurred late in the last financial year. In particular, the Parks, open space and streetscapes and Recreation, leisure and community facility asset classes were revalued for the first time in 2021-22.

Depreciation is a non-cash item and has minimal impact on funding Council's budget in 2022-23 and ongoing financial implications.

Hobsons Bay City Council – Financial Report for the period ended 31 March 2023

- 1.12 Amortisation costs are expected to be under budget by \$197,000. The forecast has been reduced to reflect Information Technology equipment leases which reached the end of their term. These leases have now been renewed.
- 1.13 Borrowing costs are expected to be over budget by \$157,000 due to increasing interest rates and the need to take out new borrowings earlier than anticipated.
- 1.14 Other expenses are expected to be \$58,000 over budget due to an increase in the Williamstown Historical Society rental (\$30,000), IT telecommunication rentals (\$15,000) and Woods Street Arts rental (\$7,000).

Actual expenditure is \$90,000 under the YTD budget mainly due to timing differences with IT telecommunication rentals (\$52,000) and a delay in the internal audit program (\$44,000).

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2. Summary Capital Works Program

	Actual @ 31/3/23 \$'000	YTD Budget @ 31/3/23 \$'000	Budget 2022-23 \$'000	Forecast 2022-23 \$'000	Forecast / Budget \$'000
Items to be Capitalised	37,737	36,787	62,961	62,389	572
less items capitalised from operational budget	-	-	-	-	-
Operational Projects	2,094	2,000	2,980	3,166	(186)
Total Capital Works Expenditure	39,831	38,787	65,941	65,555	386
Capital Works Income	8,470	3,801	6,183	10,946	4,763
Transfers from Capital Carryover Reserve	6,779	5,509	5,509	6,779	1,270
Transfers to Capital Carryover Reserve – Expenditure	-	-	-	6,879	(6,879)
Transfers to Capital Carryover Reserve – Income	-	-	-	(460)	460
Net Capital Works Program	24,582	29,477	54,249	54,249	-

The Council's 2022-23 Capital Works Program, including variations to individual capital projects are highlighted in the capital works attachment. The forecast result of the Capital Works Program shows a balanced financial result when compared to the original budget after forecast adjustments and carryovers are considered.

Capital Works Expenditure for the period ended 31 March 2023 was \$39.831 million compared to the year-to-date budget of \$38.787 million. The initial budgeted capital expenditure for the 2022-23 financial year of \$65.941 million has decreased to a forecast of \$65.555 million. The decreased forecast expenditure of \$386,000 compared to the budget is attributable to:

- expenditure carryover adjustments from the prior year's program (\$3.87 million)
- the increase in funded capital expenditure (\$2.623 million)
- expenditure carried over to next year's program (\$6.879 million)

Capital Income for the period ended 31 March 2023 was \$8.470 million. The initial budgeted capital income for the 2022-23 financial year of \$6.183 million has increased to a year-end forecast of \$10.946 million. The increased forecast income of \$4.763 million compared to budget is attributable to:

- income that was budgeted to be received in 2021-22 that is now expected to be received in 2022-23 (\$2.6 million)
- an increase in income received to fund the program (\$2.623 million)
- income carried over to next year's program (\$460,000)

Transfers from the capital carryover over reserve fund additional capital works required in 2022-23 to complete the 2021-22 program and income budgeted to be received in 2021-22 now expected to be received 2022-23. The initial budgeted transfer from the reserve of \$5.509 million was adjusted to \$6.779 million after post budget adjustments.

Transfers to the capital carryover over reserve fund the capital works budgeted in 2022-23, now expected to be completed in 2023-24. It is forecast that \$6.879 million capital expenditure and \$460 capital income will be delayed and carried over into the next financial year.

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3. Available Funding Result

	Actual @ 31/3/23 \$'000	YTD Budget @ 31/3/23 \$'000	Budget 2022-23 \$'000	Forecast 2022-23 \$'000	Forecast / Budget \$'000
Operating Surplus	20,815	17,994	26,339	25,323	(1,016)
Less Items to be Capitalised	(37,737)	(36,787)	(62,961)	(62,389)	572
Less Principal repayments	-	(565)	(754)	(912)	(158)
Plus Proceeds from borrowings	4,000	8,000	8,000	8,000	-
Plus Transfers to/from Reserves	9,092	7,821	5,294	1,955	(3,339)
Plus Depreciation and Amortisation	20,735	17,980	23,982	27,974	3,992
Plus Book Value Assets Sold	75	113	150	100	(50)
Rate Determination Result	16,980	14,556	50	50	-

4. Summary Cash Flow Statement

	Actual @ 31/3/23 \$'000	Budget 2022-23 \$'000	Forecast 2022-23 \$'000
Cash flows from Operating Activities	30,356	53,654	50,023
Cash Flows from Investing Activities	(37,655)	(62,761)	(62,237)
Cash Flows from Financing Activities	3,561	6,719	6,404
Net Increase/(Decrease) in cash held	(3,738)	(2,388)	(5,810)
Add Cash at beginning of the year	45,922	33,783	45,922
Cash at end of Financial Period	42,184	31,395	40,112

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5. Reconciliation of Operating Result and Net Cash flows from operating Activities

	Actual @ 31/3/23 \$'000	Budget 2022-23 \$'000	Forecast 2022-23 \$'000
Result from Ordinary Activities	20,815	26,339	25,323
Depreciation & Amortisation	20,735	23,982	27,974
(Gain) / Loss on Disposal of Property, Infrastructure, Plant & Equipment	(7)	(50)	(52)
Initial Asset recognition	-	-	-
Net asset revaluation increment / (decrement)	-	-	-
Net movement in Operating Assets & Liabilities	(11,187)	3,383	(3,222)
Net Cash Inflow/(Outflow) fom operating activities	30,356	53,654	50,023

6. Summary Balance Sheet

	Actual @ 31/3/23 \$'000	Budget 2022-23 \$'000	Forecast 2022-23 \$'000
Total Current Assets	61,510	44,723	53,132
Total Non-Current Assets	1,501,409	1,444,458	1,550,933
Total Assets	1,562,919	1,489,180	1,604,064
Total Current Liabilities	37,558	35,780	35,068
Total Non-Current Liabilities	16,144	19,223	19,487
Total Liabilities	53,702	55,003	54,555
Net Assets	1,509,217	1,434,177	1,549,509
Represented By			
Accumulated Surplus	595,102	637,289	634,447
Reserves	914,115	796,889	915,062
Total Equity	1,509,217	1,434,178	1,549,509

7. Financial Plan Projections

Council adopted its Financial Plan 2021-22 to 2030-31 on 12 October 2021.

The Financial Plan includes Financial Policy Statements and associated measures that demonstrate Council's financial sustainability to fund the aspirations of the Community Vision and the Council Plan.

The seven financial indicators used by the Victorian Auditor-General's Office (VAGO) to assess councils' financial sustainability risks are all included. Other measures determined by Council have also been included and all are linked to the various policy statements. The measures can be used to assess Council's financial performance, capital works or financial position. The indicators should be considered collectively and are more useful when assessed over time as part of a trend analysis.

The Financial Plan provides guidance, rather than commits Council to a future financial direction. Council will continue to review the way it operates and re-evaluate its financial performance, position, and direction on an ongoing basis.

This section provides an update on the financial projections contained in the Financial Policy Statements after completion of the March 2023 forecast review.

Hobsons Bay City Council – Financial Report for the period ended 31 March 2023

7.1 Financial Plan Projections - Financial Performance

Council’s policy statements (and strategic actions) in relation to financial performance are that Council will:

- achieve strong operational surpluses to ensure that there is adequate funding available for current and future capital works as well as other ongoing and future commitments
- consider all funding source to reduce the high dependence on rates and become more financially self-reliant by prioritised pursuit of own source revenue opportunities
- manage employee labor costs at an appropriate percentage of operating revenue

The financial performance policy statements are measured by five indicators.

The **Net Result Margin (VAGO)** measures the net result of Council as a percent of revenue.

It is calculated by: Net result divided by Total income.

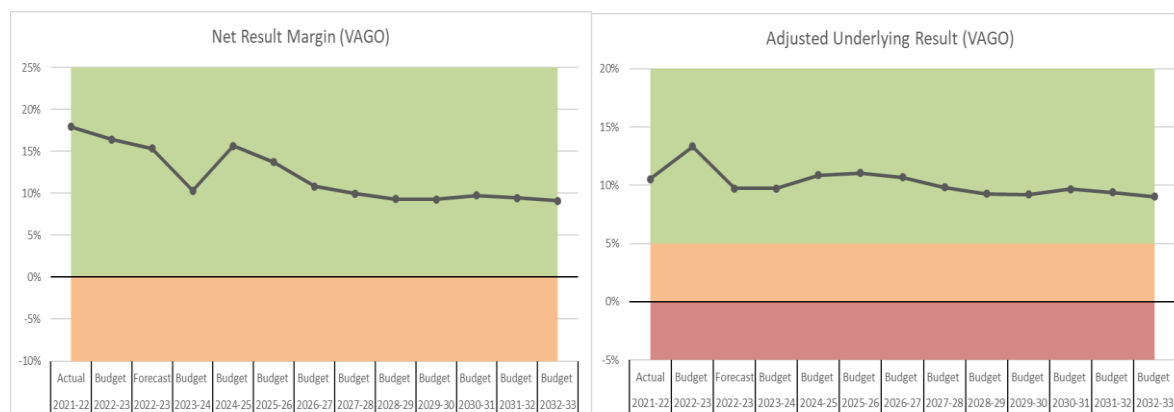
Target: > 0 per cent

The **Adjusted Underlying Result (VAGO)** measures an entity’s ability to generate surpluses in the ordinary course of business - excluding non-recurrent capital grants, non-monetary asset contributions, and other contributions to fund capital expenditure from net result. A surplus or increasing surplus suggests an improvement in the operating position.

It is calculated by: Adjusted underlying surplus (or deficit) divided by Adjusted underlying revenue.

Target: > 5 per cent

The graphs below indicate that Council will achieve its targets to have low VAGO financial sustainability risk ratings in relation to its Net Result Margin and Adjusted Underlying Result. Current forecasts indicate that Council will achieve strong operational surpluses to ensure that there is adequate funding available for ongoing and future commitments.



The **Own Source Revenue Ratio (excluding rates)** measures financial flexibility as it indicates the degree of reliance on external funding sources such as operating, and capital grants and contributions received. A council has improved financial flexibility with a higher level of own source revenue. This ratio is an adjustment to the standard Own Source Revenue Ratio by removing rates and charges.

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It is calculated by: Total operating income less all grants, contributions, rates, and charges divided by Total operating income.

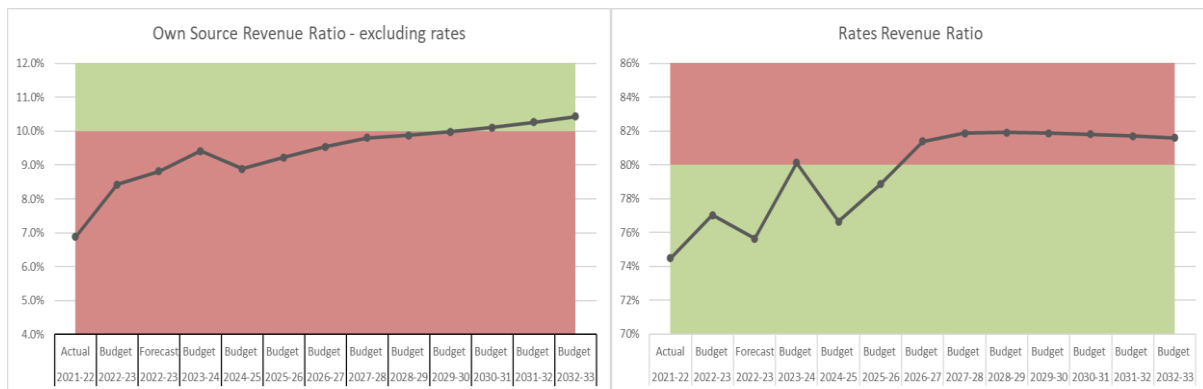
Target:> 10 per cent

The **Rates Revenue Ratio** indicates the ability of Council to generate rates and its dependence on rates, when compared to total revenue.

It is calculated by: Rates and charges divided by Total operating income.

Target:< 80 per cent

The graphs below indicated that Council will **not** achieve its targets in relation to its Own Source Revenue Ratio (excluding rates) and Rates Revenue Ratio. Current forecasts indicate that Council will **not** reduce its current high dependence on rates and will **not** become more financially self-reliant by prioritised pursuit of own source revenue opportunities outside of rates.

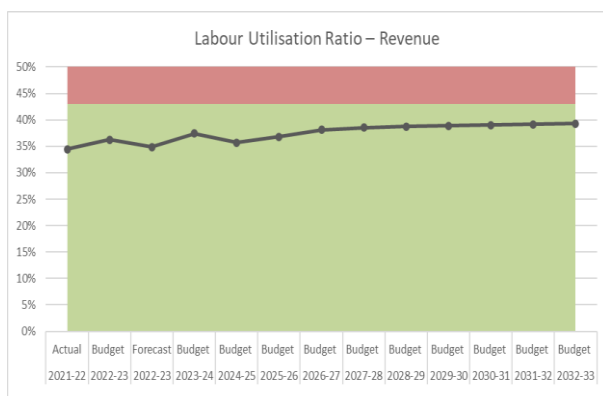


The **Labour Utilisation Ratio – Revenue** provides an overview of the organisation’s expenditure on internal labour as a proportion of total revenue. It is used to monitor and manage affordable internal employee costs and indicates the Council's sensitivity to changes in income.

It is calculated by: Employee costs divided by Total income.

Target: < 43 per cent

The graph below indicates that Council will achieve its targets in relation to its Labour Utilisation Ratio - Revenue. Current forecasts indicate that Council will continue to achieve its aim of managing employee labour costs at an ‘appropriate’ percentage of operating revenue.



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7.2 Financial Plan Projections - Capital Works

Council’s policy statements (and strategic actions) in relation to capital works are that Council will:

- ensure enough cash is being generated from operations to fund new assets
- ensure sufficient spending on asset renewal and Council's asset base
- increase the amount of funding currently available for Capital Works

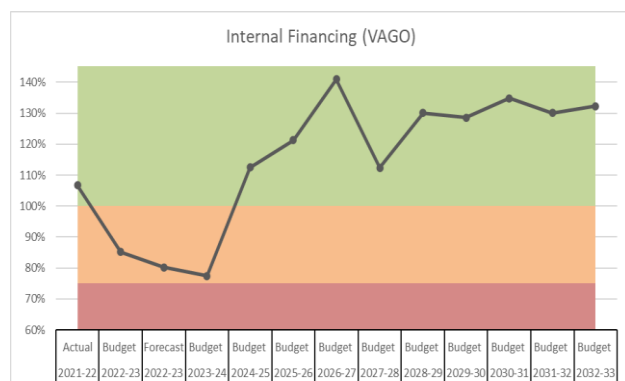
The capital works policy statements are measured by four indicators.

Internal Financing (VAGO) measures the ability of an entity to finance capital works from generated cashflow. The higher the percentage, the greater the ability for the entity to finance capital works from their own funds.

It is calculated by: Net operating cashflow divided by Net capital expenditure.

Target: > 100 per cent

The graph below indicates that Council will **not** achieve its targets to have low VAGO financial sustainability risk ratings in relation to Internal Financing until 2024-25. Increased capital expenditure between 2022-23 and 2024-25 must be funded by loan borrowings. The current forecasts indicate that Council will achieve its aim of ensuring enough cash is being generated from operations to fund new assets from 2024-25, when Council’s capital works program reduces to more manageable levels.



Capital Replacement (VAGO) compares the rate of spending on new infrastructure, property, plant and equipment with its depreciation. Ratios higher than 100 per cent indicate that spending is faster than the depreciating rate. This is a long-term indicator, as capital expenditure can be deferred in the short term if there are insufficient funds available from operations and borrowing is not an option.

It is calculated by: Cash outflows for the addition of new infrastructure, property, plant and equipment divided by Depreciation.

Target: > 150 per cent

The **Renewal Gap (VAGO)** compares the rate of spending on existing assets through renewing, restoring, and replacing existing assets with depreciation. Ratios higher than 100 per cent indicate that spending on existing assets is faster than the depreciation rate.

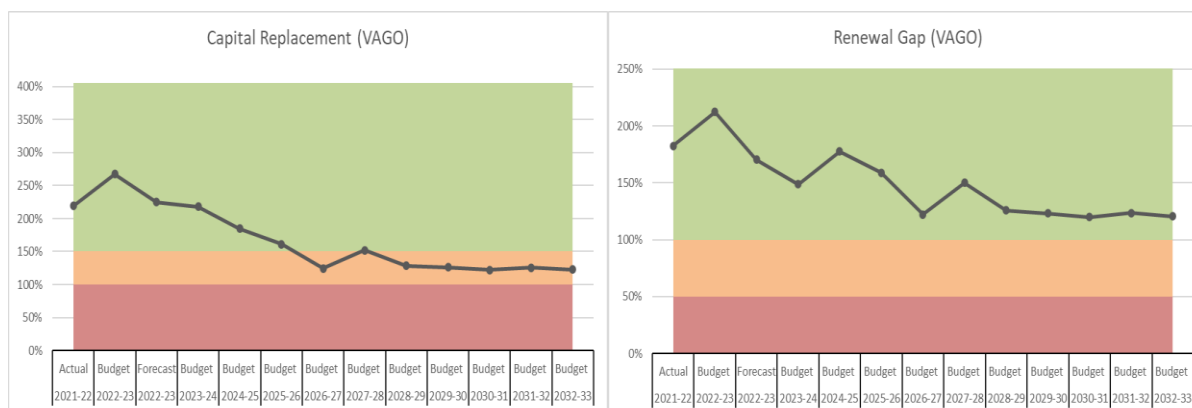
It is calculated by: Renewal and upgrade expenditure divided by Depreciation.

Target: > 100 per cent

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The Capital Replacement graph below indicates that Council will achieve its targets and have low VAGO financial sustainability risk ratings in relation to Capital Replacement until 2025-26 but will need to increase its capital spend from 2026-27 to continue to achieve its Capital Replacement targets to ensure sufficient spending on Council’s asset base.

The Renewal Gap graph below indicate that Council will achieve its target to have low VAGO financial sustainability risk ratings in relation to the Renewal Gap to ensure sufficient spending on asset renewal.

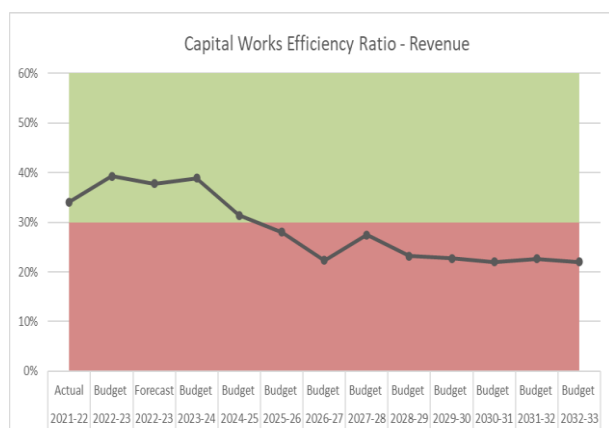


The **Capital Works Efficiency Ratio – Revenue** compares the rate of spending on new infrastructure, property, plant and equipment with total revenue.

It is calculated by: Capital expenditure divided by Total revenue.

Target: > 30 per cent (average)

The graph below indicates that Council will **not** achieve its target to average greater than 30 per cent (average result = 27.1 per cent) in relation to the Capital Works Efficiency Ratio – Revenue. Current forecasts indicate that Council will **not** achieve its aim of increasing the amount of funding currently available for Capital Works as ratios are forecast to decline in the later years of the plan.



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7.3 Financial Plan Projections - Financial Position

Council’s policy statements (and strategic actions) in relation to financial position are that Council will:

- ensure there are no immediate issues with repaying short-term liabilities as they fall due. This will be achieved by maintaining Council’s liquidity ratio at levels exceeding 100 per cent
- ensure loan commitments can be repaid from own source revenue, including interest and principle, as they fall due

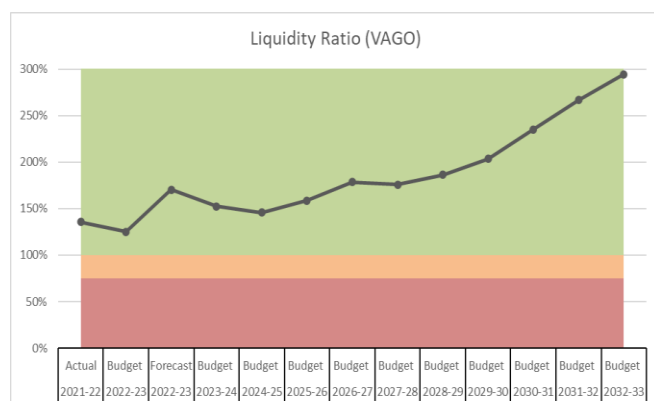
The financial position policy statements are measured by four indicators.

The **Liquidity ratio (VAGO)** measures the ability to pay existing liabilities in the next 12 months and is a key indicator of financial position. A ratio of 100 per cent or more means that there are more cash and liquid assets than short-term liabilities.

It is calculated by: Current assets divided by Current liabilities.

Target: > 100 per cent

The graph below indicates that Council will achieve its targets and have low VAGO financial sustainability risk ratings in relation to the Liquidity Ratio. Current forecasts indicate that Council will achieve its aim to ensure that there are no immediate issues with repaying short-term liabilities as they fall due. This ratio is inflated due to Council’s loan borrowings as well as including funding in the Infrastructure and Advocacy Project reserves to fund future capital works. If additional projects are funded from these reserves, the liquidity ratio will reduce in-line with a reduction in cash and investments.



Indebtedness (VAGO) assesses an entity’s ability to pay the principal and interest on outstanding loans, as and when they fall due, from the funds it generates. The lower the ratio, the less revenue the entity is required to use to repay its loans. Own-sourced revenue is used, rather than total revenue, because it does not include grants or contributions.

It is calculated by: Non-current liabilities divided by Own-sourced revenue.

Target: < 40 per cent

The **Debt servicing Ratio** assesses an entity’s ability to pay interest on its outstanding loans each year from total revenue.

It is calculated by: Borrowing costs divided by Total income.

Target: < 5 per cent

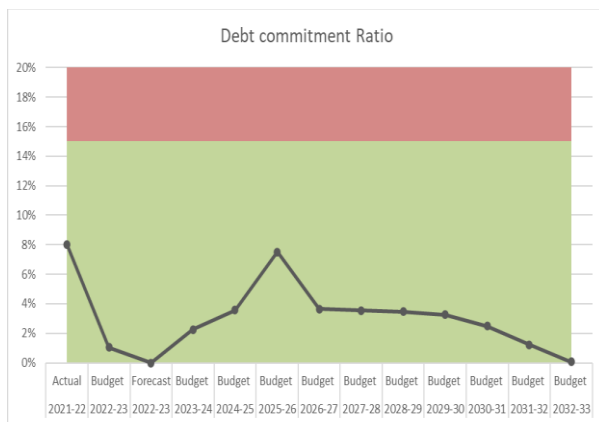
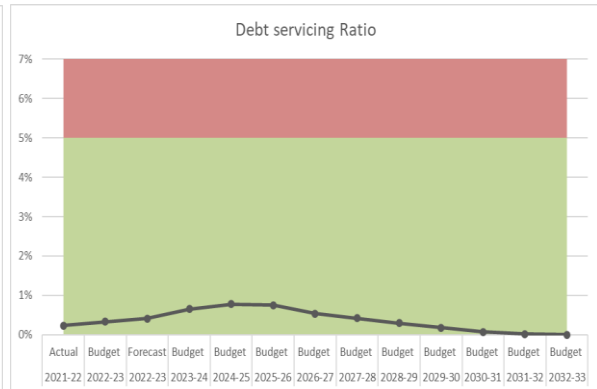
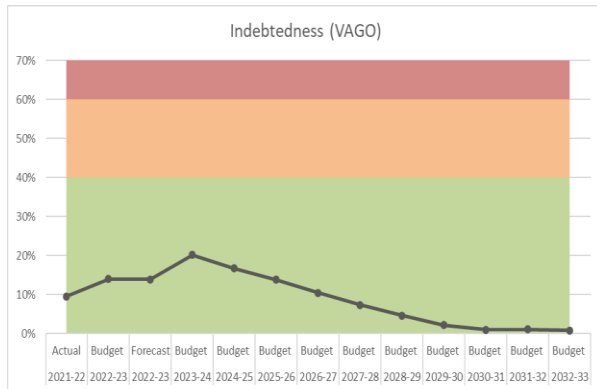
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The **Debt commitment Ratio** assesses an entity’s ability to pay the principal and interest on outstanding loans, as and when they fall due, from rate revenue.

It is calculated by: Borrowing costs plus loan repayments divided by Rate revenue.

Target: < 15 per cent

Despite additional loan borrowings included in the Annual Budget 2022-23, 2023-24 and 2024-25 the graphs below indicate that Council will achieve its targets in relation to Indebtedness, the Debt Servicing Ratio and the Debt Commitment Ratio. Current forecasts indicate that Council will achieve its aim to ensure loan commitments can be repaid from own source revenue, including interest and principle, as they fall due.



Capital Works Program 2022-23	EXPENDITURE								INCOME							
	New Works	Budget Carried Over	Adopted Budget	Post Budget adjustments	Revised Budget	New Forecast	YTD Actuals	Proposed Carryover / (Brought Forward)	New Income	Budget Carried Over	Adopted Budget	Post Budget adjustments	Revised Budget	New Forecast	YTD Actuals	Proposed (Carryover) / Brought Forward
Arts & Culture																
Cultural Asset Renewal	65,000	37,000	102,000	8,000	110,000	65,000	13,258	0	0	0	0	0	0	0	0	0
Capital Works																
Council Asset Maintenance	7,075,000	1,126,000	8,201,000	125,000	8,326,000	6,564,664	3,668,323	2,401,000	(600,000)	0	(600,000)	(236,942)	(836,942)	(1,106,942)	(941,500)	(400,000)
Foreshore Remedial	900,000	150,000	1,050,000	1,020,000	2,070,000	1,555,660	1,011,188	227,000	0	0	0	0	0	0	0	0
Open Space Upgrades	4,570,000	409,000	4,979,000	686,000	5,665,000	5,527,335	4,220,396	1,638,507	(800,000)	0	(800,000)	800,000	0	(261,500)	(180,000)	(180,000)
Altona Foreshore Strategy	400,000	0	400,000	0	400,000	0	0	0	0	0	0	0	0	0	0	0
Community Gardens	995,000	0	995,000	18,000	1,013,000	231,258	116,394	355,000	0	0	0	0	0	0	0	0
Library Upgrades	1,100,000	257,000	1,357,000	(41,800)	1,315,200	2,160,063	1,177,865	(975,000)	(350,000)	(100,000)	(450,000)	25,885	(424,115)	(424,115)	(407,138)	0
Altona sports centre extension	0	0	0	0	0	646,031	646,031	0	0	0	0	0	0	0	0	0
HD Graham Reserve Future Development	0	1,040,000	1,040,000	455,000	1,495,000	1,527,260	1,252,211	0	0	0	0	0	0	0	0	0
Public Toilets Renewals/Upgrade Program	0	0	0	225,000	225,000	374,357	374,357	0	0	0	0	0	0	0	0	0
JT Reserve Pavilion Program	3,890,000	520,000	4,410,000	480,000	4,890,000	5,401,093	3,877,093	0	0	0	0	0	0	0	0	0
COVID-19	550,000	0	550,000	0	550,000	514,119	328,756	0	(550,000)	0	(550,000)	(255,000)	(805,000)	(805,000)	(475,000)	0
Tree Planting	2,000,000	925,000	2,925,000	(425,000)	2,500,000	2,408,145	1,359,640	180,000	0	0	0	0	0	(385,750)	(385,750)	0
Dennis Reserve	3,000,000	500,000	3,500,000	50,000	3,550,000	123,550	70,441	890,000	0	0	0	0	0	0	0	0
Drainage Upgrades - Various	3,250,000	(150,000)	3,100,000	233,500	3,333,500	1,985,992	1,715,992	0	0	0	0	0	0	0	0	0
Digman Rsv Feasibility/Master Plan	0	500,000	500,000	10,000	510,000	663,375	641,893	0	0	0	0	(10,000)	(10,000)	(20,000)	(10,000)	0
ALSC Tower Upgrade	0	0	0	0	0	16,932	16,932	0	0	0	0	0	0	0	0	0
Newport Gardens Kindergarten	0	0	0	40,000	40,000	39,247	39,247	0	0	0	0	(120,000)	(120,000)	(120,000)	(60,000)	0
Open Space Assets Renewal	570,000	0	570,000	0	570,000	469,391	355,680	282,000	0	0	0	0	0	(123,485)	(135,834)	0
Williamstown Mechanics Institute	0	0	0	0	0	108,273	108,273	0	0	0	0	0	0	0	0	0
Street Lighting	50,000	0	50,000	0	50,000	91,718	55,869	(20,000)	0	0	0	0	0	0	0	0
West Gate Tunnel - Open Space enhancement	2,800,000	(650,000)	2,150,000	(7,000)	2,143,000	5,259,581	4,224,809	30,000	0	0	0	(528,974)	(528,974)	(778,974)	(910,000)	0
Irrigation Upgrade	630,000	0	630,000	0	630,000	620,292	37,992	25,000	0	0	0	0	0	0	0	0
Sporting Ground Infrastructure / Floodlighting	215,000	0	215,000	0	215,000	343,227	173,262	210,000	0	0	0	0	0	0	0	0
Blenheim Road Open Space	0	250,000	250,000	310,000	560,000	790,714	747,806	0	0	0	0	0	0	0	0	0
Hosken Reserve Development	930,000	(825,000)	105,000	82,000	187,000	9,120	9,120	0	(146,000)	0	(146,000)	(27,000)	(173,000)	(173,000)	(173,000)	0
Kororoit Creek Development	0	0	0	250,000	250,000	127,098	7,848	390,000	0	0	0	0	0	0	0	0
Sporting Ground Redevelopments	0	500,000	500,000	225,000	725,000	1,184,772	227,747	(140,000)	0	0	0	0	0	(30,000)	(201,000)	120,000
Hard Courts - Various	90,000	0	90,000	30,000	120,000	161,907	91,907	0	0	0	0	0	0	0	0	0
Cricket Practice Nets	0	290,000	290,000	(290,000)	0	27,282	27,282	0	0	0	0	(12,000)	(12,000)	(12,000)	(12,000)	0
Vibrant Villages Program	0	0	0	0	0	5,800	5,800	0	0	0	0	0	0	0	0	0
Newport Park Track Masterplan	260,000	0	260,000	0	260,000	235,000	23,565	0	0	0	0	0	0	0	0	0
Playground Upgrades	10,000	0	10,000	0	10,000	6,497	3,247	5,000	0	0	0	0	0	0	0	0
Wayfinder Signage	200,000	0	200,000	0	200,000	200,000	16,750	0	0	0	0	0	0	0	0	0
City Services																
Footpath Renewals - Various	1,000,000	0	1,000,000	0	1,000,000	1,147,124	260,840	0	0	0	0	0	0	0	0	0
Pit Upgrade	110,000	0	110,000	0	110,000	100,000	100,000	0	0	0	0	0	0	0	0	0
Contracts & Procurement																
Plant Purchases	3,115,000	630,000	3,745,000	(220,500)	3,524,500	3,174,500	949,243	330,000	0	0	0	0	0	0	0	0
Director Infrastructure & City Services																
Renewable Energy - Solar Photovoltaic Rollout	2,600,000	(611,000)	1,989,000	(139,000)	1,850,000	607,710	507,710	0	0	0	0	0	0	0	0	0
Engineering Services																
Road Rehab Blackspot Funding	276,000	989,000	1,265,000	31,000	1,296,000	936,404	679,684	350,000	(276,000)	(1,135,000)	(1,411,000)	241,448	(1,169,552)	(1,169,552)	(1,155,070)	0
Stitch in Time Resurfacing	3,715,000	(255,000)	3,460,000	(158,000)	3,302,000	4,352,053	3,059,073	0	0	0	0	(443,838)	(443,838)	(443,838)	0	0
Bridge Renewal	575,000	0	575,000	0	575,000	72,367	22,367	365,000	0	0	0	(240,000)	(240,000)	(240,000)	(228,672)	0
Road Rehabilitation	5,702,000	118,000	5,820,000	807,000	6,627,000	6,188,246	3,100,789	(410,000)	(1,431,334)	0	(1,431,334)	(1,000,000)	(2,431,334)	(2,451,334)	(974,334)	0

Capital Works Program 2022-23	EXPENDITURE								INCOME							
	New Works	Budget Carried Over	Adopted Budget	Post Budget adjustments	Revised Budget	New Forecast	YTD Actuals	Proposed Carryover / (Brought Forward)	New Income	Budget Carried Over	Adopted Budget	Post Budget adjustments	Revised Budget	New Forecast	YTD Actuals	Proposed (Carryover) / Brought Forward
Footpath New	150,000	0	150,000	0	150,000	643,648	335,447	(310,000)	0	0	0	0	0	0	0	0
Drainage Renewal	900,000	43,000	943,000	(43,000)	900,000	622,547	342,344	0	0	0	0	0	0	0	0	0
Car Park - Various	1,725,000	0	1,725,000	0	1,725,000	215,989	173,589	850,000	(500,000)	0	(500,000)	0	(500,000)	(500,000)	(400,000)	0
Unsealed Laneway	0	0	0	0	0	114,637	54,637	0	0	0	0	0	0	(34,000)	(34,000)	0
Signage - Interpretive	50,000	0	50,000	0	50,000	10	10	0	0	0	0	0	0	0	0	0
Trail Infrastructure - Maintenance	135,000	0	135,000	0	135,000	35,000	0	0	0	0	0	0	0	0	0	0
Stitch in Time Road Resurfacing	0	0	0	0	0	1,590	1,590	0	0	0	0	0	0	0	0	0
Facilities																
Kindergartens	350,000	0	350,000	0	350,000	371,549	49,557	0	(180,000)	0	(180,000)	0	(180,000)	(180,000)	(19,895)	0
ICT																
IT Strategy Implementation	700,000	0	700,000	0	700,000	689,000	454,548	0	0	0	0	0	0	0	0	0
Library Resources	800,000	100,000	900,000	(209,000)	691,000	795,422	768,624	(155,000)	(15,000)	0	(15,000)	0	(15,000)	(15,000)	(14,058)	0
Parks, Gardens & Conservation																
Fencing of Council Reserves	160,000	0	160,000	0	160,000	298,017	156,443	0	0	0	0	0	0	0	0	0
Williamstown Botanical Gardens	0	0	0	0	0	30,000	22,124	0	0	0	0	0	0	0	0	0
Bio-Diversity Strategy	384,000	0	384,000	36,000	420,000	411,794	254,978	130,000	0	0	0	0	0	0	0	0
Elm Tree Management	55,000	0	55,000	0	55,000	55,000	18,360	0	0	0	0	0	0	0	0	0
PMO																
Drainage New and Upgrade GPT	0	468,000	468,000	0	468,000	67,511	67,511	0	0	0	0	0	0	0	0	0
Council Asset Maintenance Program	0	0	0	0	0	33,689	32,389	(30,000)	0	0	0	0	0	0	0	0
Actuals Clearing Program	0	0	0	0	0	56	56	0	0	0	0	0	0	0	0	0
Strategic Projects																
Wetlands Centre	215,000	0	215,000	0	215,000	280,000	5,000	0	0	0	0	0	0	0	0	0
Waste Management	1,150,000	0	1,150,000	315,000	1,465,000	1,428,338	378,338	(40,000)	0	0	0	0	0	(509,344)	(509,344)	0
Traffic & Transport																
Traffic Management	1,780,000	383,000	2,163,000	(33,000)	2,130,000	3,438,682	1,388,693	300,000	(100,000)	0	(100,000)	(793,285)	(893,285)	(1,162,148)	(1,243,048)	0
	59,197,000	6,744,000	65,941,000	3,870,200	69,811,200	65,555,635	39,830,913	6,878,507	(4,948,334)	(1,235,000)	(6,183,334)	(2,599,705)	(8,783,039)	(10,945,981)	(8,469,641)	(460,000)



Q3 Progress Report

Council Plan Initiatives

January – March 2023

Acknowledgements

Council acknowledges the Bunurong People of the Kulin Nation as the Traditional Owners of these municipal lands and waterways, and pay our respects to Elders past and present.

Summary

Under the *Local Government Act 2020* (the Act), Council is required to include its major initiatives and services in the Annual Budget document as committed projects for the financial year that support the implementation of the Council Plan. The annual reporting of the progress of these projects is a requirement in the Act. Council reports on a quarterly basis to ensure that progress is on track throughout the financial year.

In 2021-22 Council nominated 21 major initiatives to support the delivery of Council Plan 2021-25, of which 14 are carried over from the previous. Three major initiatives have been completed so far, namely the Hobsons 2.0 Risk Management Framework, Newport Gardens Early Years Centre and HD Graham Reserve Sport Facility Development.

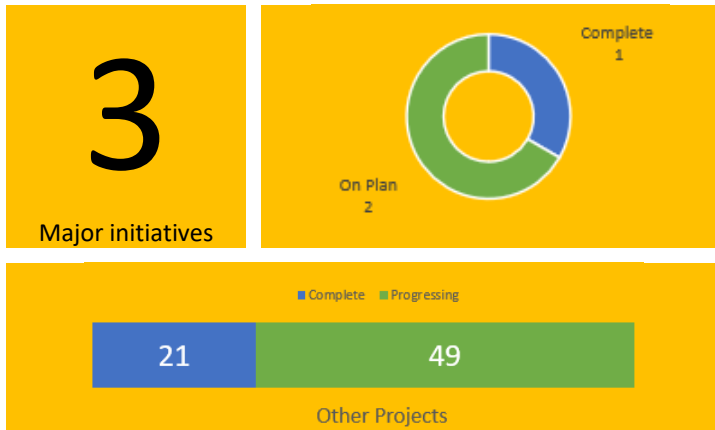
The remaining 18 major initiatives have all commenced and are progressing to plan.

Apart from the major initiatives, Council undertakes a wide range of projects to support the achievements of the Objectives of the Council Plan 2021-25, and this information has been added to this third quarter report.

Objective 1 – Community

Healthy, Equitable and Thriving Communities

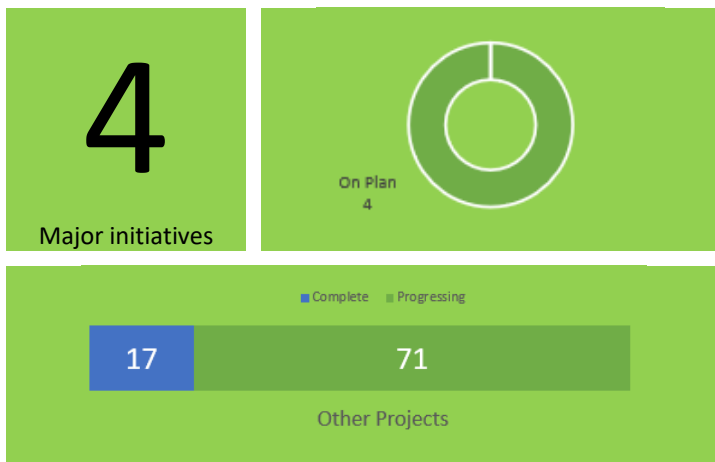
Be a city where all members of the community can participate equitably, feel safe, connected and achieve good health and social wellbeing.



Objective 2 – Environment

Valuing our Environment

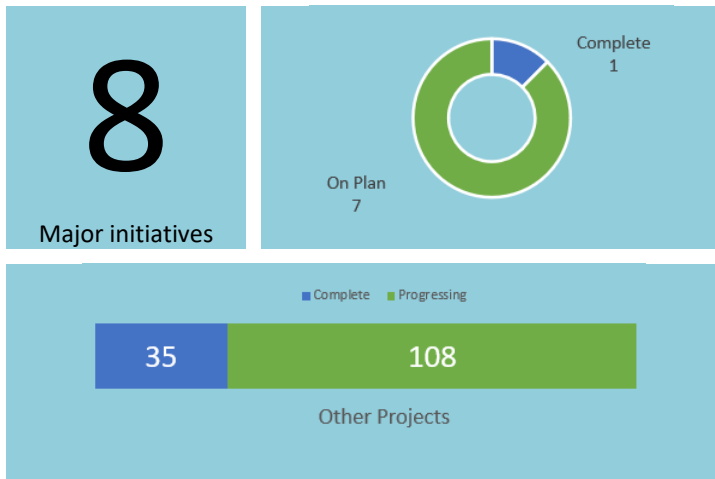
Foster a sustainable way of living in response to climate change through active involvement in alternative energy use, reduction of waste, enhancement and conservation of our natural environment.



Objective 3 – Place, Recreation and Economy

Vibrant Place and Economy

Support a resilient local economy that facilitates job growth and retention, promoting Hobsons Bay as a place to live, work, invest, recreate and visit.



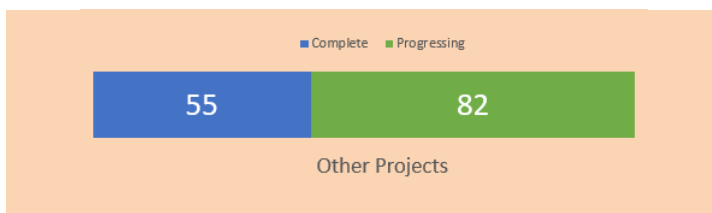
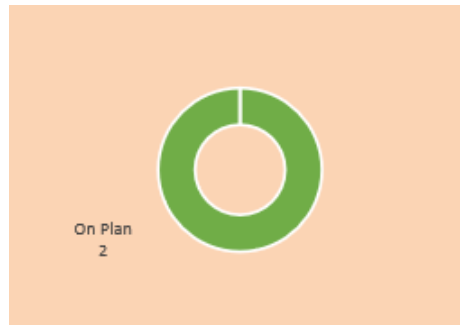
Objective 4 – Community Infrastructure

Visionary Community Infrastructure

Develop and maintain infrastructure to promote liveability, planning for the future need and growth of the community, while preserving heritage, environment and neighbourhood character.

2

Major initiatives



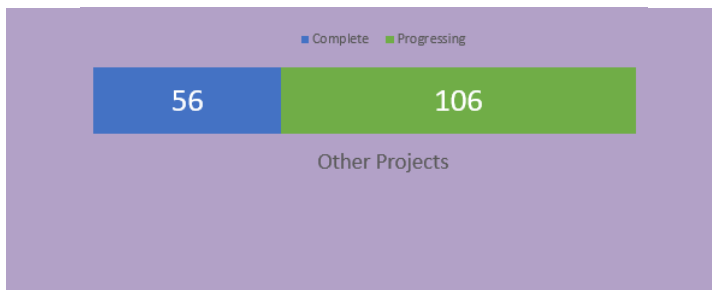
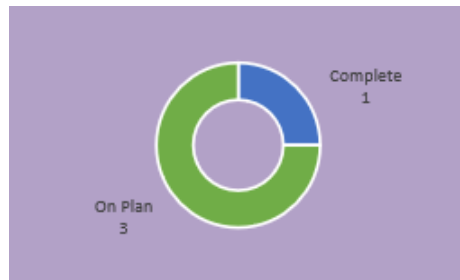
Objective 5 – Organisation

A High Performing Organisation

Delivering value for money through efficient processes, digital transformation and continuous improvement with a willingness to try new approaches as to how we do, what we do. We will be transparent and responsive to the needs of the community through meaningful connection, communication and engagement.

4

Major initiatives



Progress against the Council Plan objectives

Council Plan 2021-25

The Council Plan 2021-25 was adopted by Council on 12 October 2021. It will guide the work of Council over the next four years, setting objectives, strategies and priorities for creating an even better Hobsons Bay through the delivery of Council's services and major initiatives.

The Council Plan 2021-25 consists of five strategic objectives that are made up of 19 strategies and 59 priorities which describe what Council will do for the period.

Objective 1: Community

Healthy, equitable and thriving communities. Be a city where all members of the community can participate equitably, feel safe, connected and achieve good health and social wellbeing.

There are three major initiatives for this objective in 2022-23. The progress of each of the major initiatives is below:

Project	Status	Progress comment
<p>Hobsons Bay Affordable Housing Trust</p> <p>The Trust will provide housing to low-income households with a connection to Hobsons Bay.</p>	On Plan	<p>The year one business plan has been received and approved. Hobsons Bay Housing Trust Partnership meetings have been established to provide a framework for Council and Housing Choices Australia. This will allow Council to continue working together to achieve trust aims.</p> <p>Expression of interest for significant funding to deliver social housing in Laverton is under review by the State Government, following extensive community consultation</p>
<p>Newport Gardens Early Years Centre</p> <p>The extension at the Newport Gardens Early Years Centre to provide an additional 66 kindergarten places in 2022.</p>	Complete	<p>The Newport Gardens Early Years Centre project has been completed and handed back to the centre.</p>
<p>Centres of Excellence Strategy 2022-2027</p> <p>A strategic plan for the future management of Council's community learning and service centres across the municipality.</p>	On Plan	<p>The draft Centres of Excellence Strategy was developed and put out to the community for consultation via the Participate community engagement portal. Feedback from community was considered, and Strategy was endorsed by Council. The final Centres of Excellence Strategy is now available on Council's website.</p>

Objective 2: Environment

Valuing our environment. Foster a sustainable way of living in response to climate change through active involvement in alternative energy use, reduction of waste, enhancement and conservation of our natural environment.

There are four major initiatives for this objective in 2022-23. The progress of each of the major initiatives is below:

Project	Status	Progress comment
<p>Wetlands Centre Development</p> <p>Development of concept, detail design and contract documentation, including stakeholder engagement, for a state-of-the-art sustainability-focused Wetlands Centre in Hobsons Bay to increase community education and participation in preserving the local environment.</p>	On Plan	There has been continued advocacy for funding with government authorities and departments including meeting with Parks Victoria and the new State Member for Point Cook in February 2023. The Wetlands Centre Committee launched a community supporters' campaign and promotion of the Wetlands Centre and was continued at community events as well as media coverage in The Age and ABC Radio Melbourne.
<p>Tree Planting – Urban Forest Strategy (2020-2023)</p> <p>Tree planting and establishment maintenance along streets, pathways and in public open space, aiming to plant between 8,000 and 8,500 semi-advanced trees per year to achieve 30% canopy cover by 2040.</p>	On Plan	<p>Since the adoption of the Urban Forest Strategy, in September 2020, tree planting has progressed very well with a total of 61,266 trees planted in reserves, streets, along pathways and other public open space. These are a mix of semi-advanced trees and tubestock trees.</p> <p>By the end of 2023 there will be a further 30,500 tubestock and semi-advanced trees planted across the municipality.</p> <p>Hobsons Bay City Council has been one of the largest delivery partners for the Victorian Government's More Trees for a Cooler Greener West planting program which funded over 20,000 tubestock trees in 2021 and 2022. A further 25,000 tubestock trees have been funded through the program in 2023.</p> <p>Establishment and maintenance of all trees planted is progressing well.</p>
<p>Altona Meadows Library Building Renewal & Energy Efficiency Upgrades</p> <p>Building renewal works, including acoustic treatment, HVAC and improved space utilisation, to enhance customer experience.</p>	On Plan	The project is tracking well. There has been a slight delay with our joinery due to the Porter Davis homes collapse. This will be ongoing with other projects too as many contractors will go under as they are owed lots of money. We are on target to have the project completed by May 2023.

Project	Status	Progress comment
<p>Solar Program</p> <p>Large scale solar program across multiple sites to reduce emissions and result in operational savings.</p>	On Plan	Phase one of the large-scale solar roll out is complete. Approximately, 2200kW of solar panels have been installed and are fully operational. This includes a new Civic Centre car park structure.

Objective 3: Place, recreation and economy

Vibrant place and economy. Support a resilient local economy that facilitates job growth and retention, promoting Hobsons Bay as a place to live, work, invest, recreate and visit.

There are eight major initiatives for this objective in 2022-23. The progress of each of the major initiatives is below:

Project	Status	Progress comment
<p>Better Places Laverton</p> <p>Including Woods Street/Lohse Street Village Masterplan, park upgrades, wayfinding signage implementation, Laverton school’s precinct traffic safety improvements, Maher Road traffic calming work, and road rehabilitation for Ascot Street, Balmoral Street, Grace Street and Railway Avenue</p>	On Plan	<p>Of the twelve Better Places Laverton projects two are completed and the remaining ten have progressed. Key project highlights this quarter include:</p> <p>Project 2: Love Laverton Parks, six of the eight local parks within Laverton have been upgraded – with the remaining two scheduled for completion by the end of 2023. The project is a co-ordinated and fast-tracked approach creating a complementary suite of parks in Laverton that offer choice and a variety of functions and activities for people of all ages.</p> <p>Project 10: Wayfinding & Signage – signage locations and an installation guide are now finalised within a Laverton Wayfinding Signage Strategy. The Love Laverton Focus Group helped in the process. Installation is due over the coming months.</p>
<p>Better Places Spotswood + South Kingsville</p> <p>Including Hudsons Road drainage, improvements around Mary Street Reserve, traffic calming works along Hudsons Road and the Avenue, as well as the streetscape improvements Hall Street</p>	On Plan	<p>Of the sixteen Better Places Spotswood + South Kingsville projects eleven have progressed. Key project highlights this quarter include:</p> <p>Project 13: Better Villages - a draft Hudsons Road streetscape Masterplan (Melbourne Rd to Booker St) was available for community feedback from 23 February to 27 March 2023. Council and the design consultants will review feedback received to then update the draft plan accordingly and the revised draft Master Plan will then be made available for final community comment.</p> <p>Project 14: Better Community Places, Council provided a summary report to the Local Leaders Focus Group at the 27 February meeting. The report provides a</p>

Project	Status	Progress comment
		consolidated inventory of current facilities, projections for future demands and identifies opportunities for re-organising / upgrading existing facilities or opportunities for possible new community facilities to cater for future demand.
<p>Brooklyn Community Hall Redevelopment</p> <p>Including compliant male and female toilet facilities, improved kitchen equipment and operable doors opening onto an outdoor decking area on the northside. A further extension of the hall to the west will include two additional multi-purpose rooms for up to 35 people per room, one small consultation room, unisex toilets, and a separate access foyer.</p>	On Plan	The community hall is now at lock up stage. The external cladding has been installed and the external decking is being laid too. The internal space has been fitted out that the services have been roughed in. The landscaping has commenced onsite and will take 6-8 weeks to complete. The estimated practical completion is late April 2023.
<p>Dennis Reserve master plan implementation Includes the construction of a new multipurpose community facility and car park.</p>	On Plan	Following the re-release of the tender to market in December 2022, submissions have been reviewed with a recommendation scheduled to be put forward to Council in May 2023.
<p>HC Kim Reserve, Altona - New Pavilion, Female Friendly Change Rooms & Car Park Upgrades</p> <p>Construction of new pavilion and sports field and floodlighting upgrades, irrigation upgrade and carpark upgrades</p>	On Plan	A design and construction contract has been awarded. Design is being finalised with construction anticipated to take eleven months commencing in July 2023.
<p>HD Graham Reserve Sport Facility Development</p> <p>Implementation of formal sporting facilities as identified in the HD Graham Master Plan, including construction of the sportsground, sports pavilion, shared pathway network and landscaping; BMX and skate park upgrades; a new play space; water sensitive urban design initiatives and site remediation.</p>	Complete	Pavilion and car park works completed. The facility has been handed over to the tenant club for use.
<p>Open Space Enhancement and Access Package - Donald McLean Reserve</p>	On Plan	The carpark landscaping and Roy Picone Driveway access has been completed.

Project	Status	Progress comment
Implementation of works identified in the Donald McLean Reserve Improvement Plan, including redevelopment of ovals, new floodlighting and new multi-lined courts, and upgrades to the pavilion, playground and car park.		<p>The playground and associated open space reached practical completion on the 23 March 2023.</p> <p>The site is planned to be formally opened to the public on the 1 April 2023.</p>
<p>WLJ Crofts Reserve Master Plan – Pavilion, Crick Practice Nets and Car Park</p> <p>Implementation of works identified in the WLJ Crofts Reserve Master Plan, including construction of a new sports pavilion, parks and cricket practice nets.</p>	On Plan	<p>Line marking and 95% of asphalt works completed.</p> <p>Final asphalt works to be completed in April 2023 as well as final clean up and final defects.</p>

Objective 4: Community infrastructure

Visionary community infrastructure. Develop and maintain infrastructure to promote liveability, planning for the future need and growth of the community, while preserving heritage, environment and neighbourhood character.

There are two major initiatives for this objective in 2022-23. The progress of each of the major initiatives is below:

Project	Status	Progress comment
Bruce Comben includes the open space development of the southern area oval and Henry Drive Carpark	On Plan	On the 14 March 2023, Council approved the recommended tender application to appoint a Landscaping Contractor to complete the proposed works for the Southern Open Space project.
Better Places Laverton 8. Places & Spaces - Road Reconstruction (On/Off-Road Rehabilitation) Program Railway Avenue, Laverton, from Merton St to Aviation Road.	On Plan	A functional design was received in March 2023 for Traffic Engineering Plans and is under review. An engineering survey will be conducted which will be used to prepare a detail design for construction work.

Objective 5: Organisation

A high performing organisation. Delivering value for money through efficient processes, digital transformation and continuous improvement with a willingness to try new approaches as to how we do, what we do. We will be transparent and responsive to the needs of the community through meaningful connection, communication and engagement.

There are four major initiatives for this objective in 2022-23. The progress of each of the major initiatives is below:

Project	Status	Progress comment
<p>Customer Experience Transformation (CX 2.0)</p> <p>To improve processes and interactions between Council and its Community ensuring processes are simple, transparent and accessible.</p>	On Plan	<p>Council launched the Council+ service at Laverton Community Hub and Seabrook Community Centre. Over 1400 community members attended the events. Both sites now offer Council+ meeting rooms with video call technology, books to borrow, free public PC's along with the traditional service offerings.</p> <p>The community in Laverton and Seabrook are now able to complete all of their Council business from these sites rather than having to travel to the Civic Centre in Altona.</p>
<p>Implement Community Relationship Management (CRM) system including online payment processes</p> <p>To improve customer experience and management.</p>	On Plan	<p>A successful vendor has been appointed to develop the CRM.</p> <p>Analysis and design workshops are underway with involvement from across the organisation.</p>
<p>EDMS & Intranet Project</p> <p>To improve efficiency of Council operations.</p>	On Plan	<p>The Electronic Document Management System (EDMS) & Intranet Project portals have been built and are currently under testing. SharePoint sites have been created ready to accept migrated documents. A staff training schedule has been created.</p>
<p>Hobsons 2.0 Risk Management</p> <p>Framework To ensure a consistent approach to the management of risk.</p>	Complete	<p>The framework was approved by Council in June 2022. The Framework is being presented to all business units. All risks in the risk register are currently being reviewed in light of the new framework.</p>



Draft Industrial Land Management Strategy 2023-2038

Acknowledgment of Country

Council acknowledges the Bunurong People of the Kulin Nation as the Traditional Owners of these municipal lands and waterways, and pay our respects to Elders past, present and emerging.

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1. Scope

The draft Industrial Land Management Strategy ('the strategy') provides land use and policy direction to guide change in key industrial precincts in Hobsons Bay for the next 15 years. The strategy sets out a vision and objectives for industrial land and directions for key industrial precincts that will inform a new planning and policy framework.

This strategy relates only to industrial zoned land in Hobsons Bay and includes Industry 3 Zone, Industry 1 Zone and a number of Special Use Zones related to specialised industry sectors and Major Hazard Facilities (MHFs) as shown in **Figure 1**. For the purposes of the strategy, industrial areas have been categorised into six key precincts.

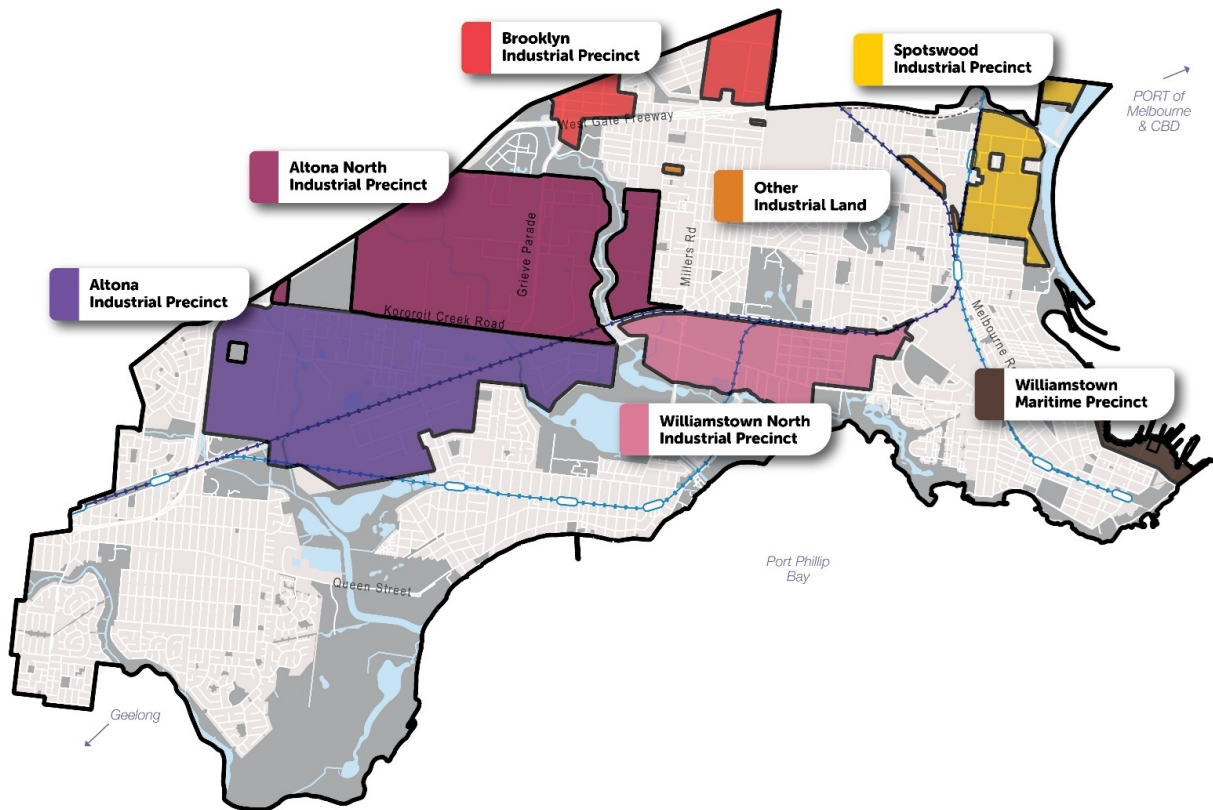


Figure 1: Hobsons Bay's key industrial precincts and existing zones

How to read this document

The strategy is guided by an overarching vision and objectives detailed at Section 2. The context for the strategy is included at Sections 3 to Section 6.

Section 7 (Land Use Framework) provides key precinct directions for each of the six key industrial precincts to inform a revised planning framework for industrial areas.

An implementation table with key actions is included at Section 8 that will help deliver the overarching vision and objectives of the strategy.

2. Purpose & Vision

This strategy will apply the vision and objectives to guide investment, development, and land use planning in Hobsons Bay's industrial precincts over the next 15 years.

Vision for Industrial Precincts in Hobsons Bay

Our industrial precincts will:

- *be the preferred location for industries that are innovating and adopting new practices that support a circular economy and zero carbon future*
- *support diverse industries and businesses of all scales that provide more jobs for our local community and that ensure a resilient economy*
- *provide green spaces, sustainable transport and amenities to support our skilled workforce, whilst also enhancing our environmental assets and biodiversity*
- *ensure community are appropriately buffered and protected from any potential amenity impacts that arise from the movement of goods and industrial operations*
- *include high-quality industrial developments that adopt best practice sustainable design principles, enhance the local heritage fabric and the streetscape*
- *build on our legacy of state significant industries and precincts and retain our point of difference in the Victorian Economy to continue to attract investment*

Objectives

The below overarching objectives identified as part of the Reimagining our Industrial Areas Project are intended to guide planning in Hobson's Bay's industrial precincts.



Objective 1

Increase local jobs and employment and diversify industry sectors

1. attract high employing industries to increase local jobs and employment
2. attract industries and businesses that support our changing resident workforce
3. attract a diversity of businesses and industries to support a resilient economy



Objective 2

Balance economic growth with community impacts

1. ensure new industries with potential adverse amenity impacts are located away from existing residential areas
2. encourage industries to adopt practices that reduce off-site amenity impacts
3. support industrial development that enhances the streetscape and heritage fabric



Objective 3

Become an environmental leader and promote more sustainable and green industries

1. support industries that innovate and adopt new practices that lead to better environmental outcomes
2. support industrial development that limits impact on our natural environment and enhances areas of environmental significance
3. support greening, tree canopy cover and streetscape improvements in industrial precincts



Objective 4

Continue to attract investment to support a resilient and prosperous local economy

1. capitalise on the broader changing economy
2. attract new businesses, gain state investment and retain large businesses
3. create high amenity industrial areas with improved public realm and access to amenities and open space to attract new industries and skilled workers

3. Development of the Strategy

Reimagining our Industrial Areas

The development of the strategy commenced with the Reimagining our Industrial Areas project in 2021. This project was the first step in reviewing the 2008 Industrial Land Management Strategy as it tested several objectives proposed to guide land use and development within key industrial precincts with community and key stakeholders.

The project was informed by an analysis of the local economic context and preliminary discussions with key stakeholders on potential new and emerging industry sectors that could be attracted to Hobsons Bay based on certain locational attractors and deterrents.¹

The project produced a Statement of Opportunity (a statement) that highlighted the locational attractors in the municipality including proximity to the Port of Melbourne, principal freight line and Melbourne CBD, large self-contained sites, supportive land use frameworks, existing buffers and lifestyle benefits for workers.² The statement included Council's objectives for industrial land and future industry sectors to target including digital industry, advanced manufacturing, new energy and circular economy industries.

Engagement with the community, businesses, government agencies and industry groups on the statement was carried out between October and November in 2021 and identified support for the objectives and target industry sectors.³ As such the objectives and target industry sectors have been carried through with some modifications into the strategy and have informed individual precinct opportunities and recommendations.

Process

The flowchart below (**Figure 2**) illustrates the process for preparing and implementing the strategy. Once the strategy is adopted by Council a planning scheme amendment will be required to introduce a new planning framework for industrial land into the Hobsons Bay Planning Scheme.

¹ Hobsons Bay Reimagining the Future of Industrial Land, Charter Keck Kramer, June 2021

² Reimagining our Industrial Areas - A Statement of Opportunity, Hobsons Bay City Council, 2021

³ Reimagining our Industrial Areas – what we heard, Hobsons Bay City Council, December 2021

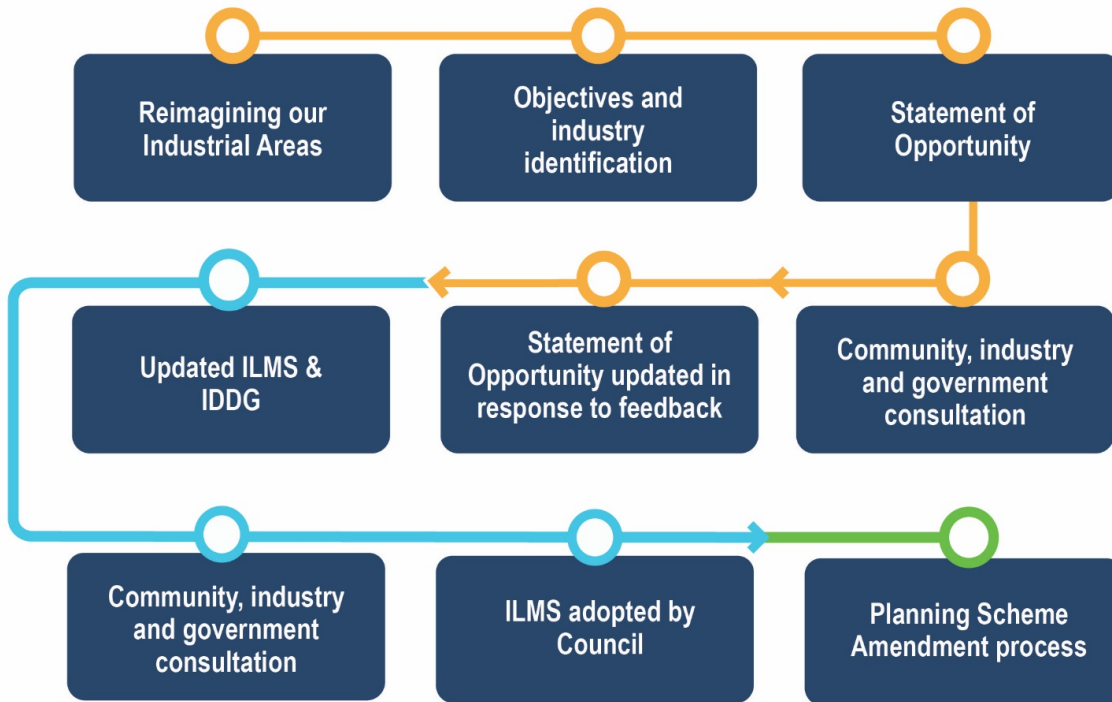


Figure 2: Process of industrial land review

What's changed

Focus of 2008 ILMS and outcomes

The 2008 Industrial Land Management Strategy was focused on the protection of industries that supported local jobs and economic growth but also, the transition of surplus or underperforming industrial land to residential or commercial use to meet future demand for retail floorspace and housing.

The 2008 strategy identified and provided land use guidance for 22 precincts, designating industrial land as either core or secondary. The core industrial areas were and continue to be home to major industries including petrochemical manufacturing and petroleum refining infrastructure (operation ceased) and storage. The secondary industrial areas supported smaller industries and businesses.

In addition, the 2008 strategy designated nine part or whole precincts as Strategic Redevelopment Areas (SRAs) with the potential to transition to another use (primarily residential or commercial). Most of these SRAs have been rezoned or are in the process of rezoning and have had a profound impact on the municipality, with brownfield sites expected to contribute approximately 4500 new dwellings across Hobsons Bay.

Focus of 2023-2038 ILMS

The focus of this strategy is to retain and protect industrial land for economic and employment growth. Given the extent of transition from areas identified as SRAs in the 2008 ILMS, this strategy does not advocate transition of industrial land to residential and therefore does not carry forward SRAs. This reflects state policy and the Melbourne Industrial and Commercial Land Use Plan (MICLUP) (outlined in Section 4) which has recognised the importance of Hobsons Bay's industrial areas to the broader Victorian

economy and supply chains. Key drivers of the strategy are to attract new industry and businesses, continue industrial and commercial growth and activities, align job growth with local resident workforce skillsets and improve the amenity of industrial areas.

Appendix 2 from MICLUP has been used as the basis for the methodology that has been used in this strategy. The ILMS is consistent with MICLUP’s principles and key directions relating to state and regionally significant industrial land in Hobsons Bay.

The remaining industrial areas from the 2008 ILMS have been consolidated into six larger industrial precincts. Strategic direction for each precinct is outlined in Section 7. The land use categories from the 2008 ILMS have been revised to reflect Council’s vision and objectives and recognise the need to provide additional jobs (see Table 1 below).

Table 1: Land use category comparison.

2008 LAND USE CATEGORIES	2023 LAND USE CATEGORIES
<p>Core Industrial Area:</p> <ul style="list-style-type: none"> major concentrations of industry relatively unconstrained by sensitive uses protected for new growth and expansion of industry rezoning to non-industrial zones not supported 	<p style="text-align: center;">Updated category</p> <p>Core Industrial Area:</p> <ul style="list-style-type: none"> heavier or larger format industries (inc. Major Hazard Facilities) relatively unconstrained by sensitive uses rezoning to non-industrial zones not supported
<p>Secondary Industrial Area:</p> <ul style="list-style-type: none"> smaller concentrations of industry important for local economic development and employment support small and medium businesses (supply industrial and domestic markets) non-industrial protrusions not supported 	<p style="text-align: center;">Updated category</p> <p>Secondary Industrial Area:</p> <ul style="list-style-type: none"> smaller format industry generally higher employing than core industrial areas due to fewer employment density limitations act as a transition area to sensitive uses limited amenity impacts particularly at sensitive interfaces rezoning to non-industrial zones generally not supported unless required at a sensitive interface
<p style="text-align: center;">Not being carried forward</p> <p>Strategic Redevelopment Area:</p> <ul style="list-style-type: none"> areas of transition to other uses opportunity for change to residential use opportunity to change to a mix of industry, commercial and office accommodation 	<p style="text-align: center;">New category</p> <p>Core Employment Area:</p> <ul style="list-style-type: none"> higher employing areas support of mix of knowledge-based industries and light industrial uses relatively well serviced (inc. active/public transport routes) rezoning to non-industrial zones that facilitate employment uses may be supported (where appropriate)

4. Policy Context

Policy considerations

There are several intersecting local and state policies that inform how industrial land is used and developed in Hobsons Bay. In particular, the Victorian government's long-term planning strategies, Plan Melbourne 2017-2050 and Melbourne Industrial and Commercial Land Use Plan 2020. These policies identify almost all the municipality's industrial areas as either state or regionally significant. The retention of this land for industrial use is stated as critical to the growth and development of Melbourne and Victoria's economy. These strategies along with others have been considered as part of the preparation of this strategy as outlined at Table 2.

Table 2: Relevant state and local strategies that have informed the strategy.

Policy/Publications	What does this mean for Hobsons Bay's industrial areas?
State Policy and Strategy	
Plan Melbourne 2017-2050 DELWP	<p>Plan Melbourne provides a long-term strategic plan for metropolitan Melbourne to accommodate future growth in population and employment with development of 70% in established areas and 30% in growth areas.</p> <p>The strategy designates a large amount of state and regionally significant industrial land within the Hobsons Bay Local Government Area (LGA).</p>
Melbourne Industrial and Commercial Land Use Plan (MICLUP) (2020) DELWP	<p>MICLUP is a detailed plan that further defines the local and metropolitan implications of Plan Melbourne's industrial directions.</p> <p>It affirms the role and importance of state and regionally significant industrial precincts in the western region. The majority of Hobsons Bay's industrial land is identified as state significant, however some land in Spotswood and Williamstown is regionally significant.</p> <p>State-significant industrial precincts are <i>'for major industrial development linked to the Principal Freight Network and transport gateways'...</i> and <i>'allow continual growth in freight, logistics and manufacturing investment.'</i></p> <p>Regionally-significant industrial precincts <i>'are well established and support a range of industrial uses' or 'transitioning and supporting new uses'...</i> <i>'These areas need to be planned for and retained either as key industrial areas or locations that can transition to a broader range of employment opportunities.'</i></p> <p>The municipality also has a small amount of local industrial land.</p>
Western Land Use Framework Plan DELWP	<p>The Western Metro Land Use Framework Plan is a 30-year strategy for six local government areas. It is an extension of Plan Melbourne for western Councils including Brimbank, Hobsons Bay, Maribyrnong, Melton, Moonee Valley and Wyndham.</p> <p>It notes that industrial land must be protected, knowledge-based economic activity expanded, and new industries developed.</p>
Planning Policy Framework	<p>The Planning Policy Framework (PPF) forms part of the Victoria Planning Provisions and all Victorian planning schemes. Those</p>

Policy/Publications	What does this mean for Hobsons Bay's industrial areas?
DTP/Council	<p>policies of most relevance to Hobsons Bay's industrial land use and development are:</p> <ul style="list-style-type: none"> • Clause 13.07-1S – Land use compatibility. • Clause 13.07-2S – Major hazard facilities. • Clause 15.01 – Built Environment which contains Clause 15.01-1S – Urban design and Clause 15.01-1R – Urban design - Metropolitan Melbourne. • Clause 17.01 – Employment which contains Clauses 17.01-1S – Diversified economy, 17.01-1R – Diversified economy – Metropolitan Melbourne and 17.01-2S Innovation and research. • Clause 17.03 – Industry which contains Clauses 17.03-1S Industrial land supply, 17.03-2S Sustainable industry and 17.03-3S State significant industrial land.
Buffer Area Overlay tool <i>DELWP</i>	A planning overlay that can be used to prevent incompatible uses and development within buffer areas of industries and other uses that may have potential off-site impacts.
Advancing Victorian Manufacturing: A Blueprint for the Future (2017-2050) <i>DJPR</i>	An industry development policy that sets out to revive and refocus Victoria's manufacturing sector.
International Investment Strategy (2020) <i>Invest Victoria</i>	Outlines the key strengths and benefits for potential international investors seeking to invest in Victoria.
Modern Manufacturing Strategy (2020) <i>COMMONWEALTH GOVT</i>	A strategy to grow the manufacturing industry in Australia.
Victorian Commercial Ports Strategy - Navigating our Port Futures 2022 <i>DOT</i>	The strategy identifies increased demand for liquid bulk storage, potential new planning controls to protect Port operations and environs and increased truck movements and transport / logistics growth in Altona due to Port Rail Shuttle Network / freight terminals.
Williamstown Maritime Framework Precinct Plan 2021 <i>DOT</i>	<p>A framework developed by the Department of Transport (DoT) to guide land use and put forward a range of development scenarios for the BAE site depending on the Government's level of investment. Land uses include a potential Government Hub precinct with more commercial space and expansion of tourism and cultural space.</p> <p>The Minister for Planning is the responsible authority for the majority of precinct.</p>
Made in Victoria 2030 –	Sets out the State Government's priorities for enhancing <i>advanced manufacturing, attracting and stimulating investment, and creating</i>

Policy/Publications	What does this mean for Hobsons Bay's industrial areas?
Manufacturing Statement <i>DJPR</i>	<i>new jobs for Victoria. The statement prioritises low-emission, digital and advanced manufacturing technology across the economy, and capitalising on growth opportunities in specific sectors, including health technology, defence and food manufacturing.</i>
Local Policy and Council documents - HBCC	
Council Plan 2021-2025	<p>The Council Plan 2021-25 sets Council's strategic direction for a four-year period and is the roadmap to achieving the Hobsons Bay 2030 Community Vision.</p> <p>It includes a strategy to <i>support diversification and growth of our local economy in response to significant changes in land use and the ongoing impacts of the COVID-19 pandemic.</i> This strategy is to be achieved in part through new investment and job creation opportunities that flow from a major update to the Hobsons Bay Industrial Land Management Strategy.</p>
Reimagining our Industrial Areas – A Statement of Opportunity (RIA)	The statement sets the strategic direction for the strategy through identification of attractors, future objectives and industry sectors (digital industry, advanced manufacturing, circular economy and new energy industry). This was informed by analysis that was prepared by consultants at Charter Keck Cramer and was subject to community consultation.
Municipal Planning Strategy	Details the strategic directions and framework plans that guide industrial land use and development in Hobsons Bay.
Hobsons Bay 2030	<p>Provides the long-term community vision for the municipality, along with six priorities for achieving that vision.</p> <p>Priority 1 is Visionary, vibrant, accountable urban planning. Long term planning for Hobsons Bay needs to consider industry.</p>
2008 Industrial Development Design Guidelines	Provides guidelines for industrial built form and environmentally sustainable design outcomes. The design guidelines have been reviewed in conjunction with the new strategy.
Urban Forest Strategy 2020	<p>Set targets to increase canopy cover in Hobsons Bay. Overall target to increase cover by 30%, with industrial areas contributing 20% to the target.</p> <p>Aligns with aspirations to improve the greening and amenity of industrial areas for workers.</p>
Landscape Design Guidelines 2021	<p>Guidelines for applicants, property owners, developers, builders, architects and designers in preparing a suitable landscaping response to their development.</p> <p>Includes specific guidance for industrial areas and plant selections.</p>
Economic Development Strategy (EDS) 2015-2020	<p>Outlines the key themes and objectives guiding Council's short and long-term economic growth. The strategy includes actions to address the needs of the local business community, attract new and diverse investment and deliver increased economic and social benefit to Hobsons Bay.</p> <p>The EDS has been reviewed and is being updated in conjunction with this strategy.</p>
Activity Centres Strategy 2019-2036	Aims to support business growth and development by ensuring the creation of accessible, vibrant and high-quality activity centres.

Policy/Publications	What does this mean for Hobsons Bay's industrial areas?
Integrated Transport Strategy 2017-2030	Articulates a vision for an integrated, innovative, and equitable transport system, providing a range of sustainable, efficient, accessible and safe ways for people and goods to reach their destination.
Northern Local Area Movement Plans (LAMPS)	The LAMPs identify improvements to roads, public transport, the cycling network and footpaths to improve travel through Hobsons Bay. Initiatives relate to industrial areas of Brooklyn, Altona North, Spotswood, Newport, Williamstown North
Draft Spotswood Structure Plan (2022)	The draft structure plan develops a shared vision to guide land use, built form, public space and infrastructure within the Spotswood activity centre. The activity centre is anticipated to grow to a large neighbourhood activity centre with key developments driving this growth. The Structure Plan ensures that future growth is accommodated in an orderly and sustainable manner.
Better Places	Better Places is a new way that Council is designing and delivering projects, thinking in terms of overall 'places' rather than individual 'pieces'. Several 'Place Guides' have been developed with community that include a vision and local projects that seek to improve industrial precincts in Altona, Altona North, Spotswood and Brooklyn.

Federal and State Government initiatives

The Federal and State government has released several initiatives to enhance Melbourne's research and development, technology, advanced manufacturing, and resource recovery capabilities. Targeted industries from these initiatives could potentially establish in Hobsons Bay due to its locational attractors and skilled workers. These initiatives include:

- The \$2 billion *Breakthrough Victoria Fund*. The fund focuses on priority industries such as agri-food, advanced manufacturing, clean energy, and digital technologies.
- The *Recycling Victoria: A New Economy*. Which will overhaul Victoria's recycling system. And see a transition to a circular economy, reducing environmental impacts while enabling economic growth through productive use of natural resources.
- The *Victoria's Climate Change Strategy*. A roadmap for Victoria to have net-zero emissions and obtain 50% of its energy needs from renewable sources by 2050. The strategy includes significant investments in climate action such as:
 - \$1.6 billion for renewable energy projects (hydrogen industry and development of off-shore wind).
 - \$100 million to accelerate the uptake of Zero Emissions Vehicles
 - \$515 million to transform waste and recycling.
- The *National Reconstruction Fund*. The fund will provide finance for projects that diversify and transform Australia's industry and economy including:
 - up to \$3 billion for renewables and low emissions technologies
 - \$1.5 billion for medical manufacturing
 - \$1 billion for critical technologies
 - \$1 billion for advanced manufacturing

State and Federal investment in the West

Major city shaping projects are proposed, planned or underway in the Western region.

These projects will change the way goods and people travel within and through Hobsons Bay and will provide opportunity for urban renewal and economic activity.

Key infrastructure projects include the West Gate Tunnel, Port Rail Shuttle, Level Crossing Removal projects and Western Interstate Freight Terminal (refer to **Figure 3**).

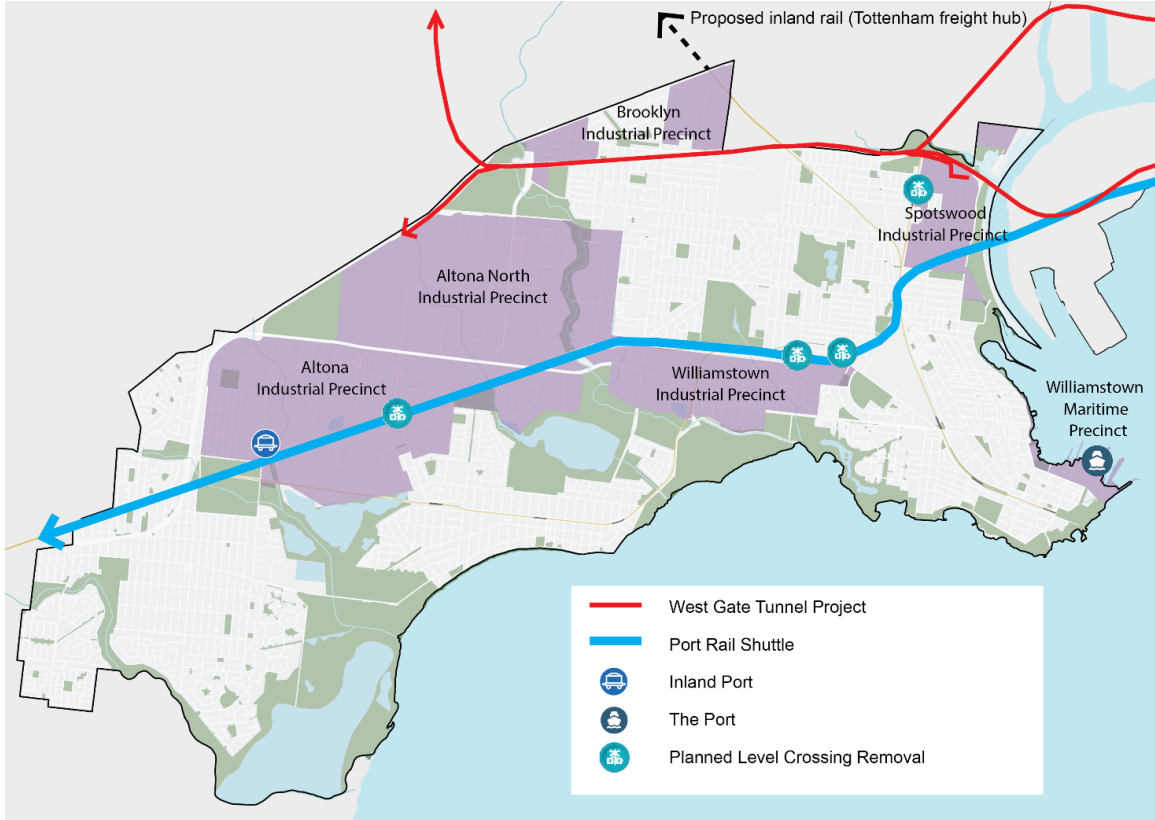


Figure 3: State Investment in Western Region Transport Infrastructure

5. Existing Planning Context

Zoning

The zones applied to industrial land in the Hobsons Bay Planning Scheme (HBPS) were prepared in the late 1990s as part of the planning reform process for the new format planning schemes.

The HBPS was gazetted in February 2000 and applied the Industrial 1 Zone (IN1Z), Industrial 3 Zone (IN3Z) and the Special Use Zone (SUZ) to industrial land throughout the municipality to implement industrial strategic land use planning objectives. The SUZ was applied through three separate schedules (SUZ2, SUZ3 and SUZ4) to the major petrochemical and petroleum industries in Altona, Altona North and Williamstown North. These SUZ schedules were tailored and applied to translate the former requirements of the Altona Planning Scheme with population density controls from the Altona Special Industrial Area that were developed by the Victorian Government in 1987.⁴

The SUZ5 was also applied to the Williamstown Marine Engineering Precinct for ship building and marine industries.

Land use conflicts

Incompatible land uses

When industry impacts on the amenity and health of community this is often the result of land use conflict. Industry can have an adverse impact on the day-to-day living conditions of community through off-site impacts including noise and air emissions. Of particular concern for residents in the Inner West is the issue of deteriorating air quality due to residents' proximity to industrial operations and heavy vehicle movements.⁵

Residential land can also inhibit industrial operations and restrict operating hours. This conflict can inhibit economic activity and lead to poor outcomes along shared property boundaries. Land use conflict is most evident in older industrial precincts such as Spotswood where workers cottages were historically situated alongside industry.

This strategy will identify locations where light industrial uses should be encouraged to create a buffer between residents and heavier industry. This may be facilitated by a change in zoning. In addition, the strategy will seek to identify how movement networks can be improved to minimise the movement of heavy vehicles through residential communities and encourage the uptake of low emissions vehicles and new technology. The interface between residential and industrial land uses will also be managed through the application of the draft Industrial Design Guidelines (the guidelines).

There will need to be ongoing advocacy and engagement with neighbouring Councils to manage any offsite amenity impacts that arise from industrial areas within adjoining municipalities (e.g., air quality issues) that are impacting our community.

Major Hazard Facilities

Major Hazard Facilities (MHFs) bring a different set of challenges to managing land use conflict in relation to risk. MHFs are generally sites that store, handle or process large

⁴ Review of Industrial Land Use Planning Framework in Hobsons Bay, Plan2Place Consulting, March 2023

⁵ Air pollution in Melbourne's Inner West – taking direct action to reduce our community's exposure', Inner West Air Quality Reference Group, March 2020

quantities of dangerous goods (for example petrochemicals or petroleum). Victoria has approximately forty MHFs, seven of which are in Hobsons Bay:

1. Mobil Yarraville (one licence issued by WSV – Flammable)
2. Ampol Spotswood/Newport (one licence issued by WSV – Flammable)
3. Viva Energy Spotswood/Newport (one licence issued by WSV – Flammable)
4. Mobil Refinery - three sites (one licence issued by WSV – Highly Flammable)
5. Mobil South Crude Tank Farm (one licence issued by WSV – Flammable)
6. Mobil Gellibrand Tank Farm (one licence issued by WSV – Flammable)
7. Qenos Altona (three licences issued by WSV – Highly Flammable)

A high concentration of MHFs in Hobsons Bay can be attributed to the petrochemical industry that grew following the establishment of the Exxon Mobil Refinery in 1949. These facilities were historically located near centres of commercial activity and near worker housing. For decades, communities in Hobsons Bay have existed alongside facilities and pipelines that support the movement and storage of hazardous products.

There has been limited direction historically in state planning policy as to how to address risks associated with MHFs through land use planning. There are also state planning policies that support growth in activity centres such as Spotswood and Williamstown that are in proximity to MHFs.⁶

Due to a lack of clear policy direction from the Victorian Government, Hobsons Bay City Council adopted its own internal policy on land use planning near MHFs in 2014. This policy allows Council to give notice to WorkSafe Victoria of any application that falls within an 'Inner or Outer Safety area' as designated by WorkSafe.⁷

The Inner Safety Area is applied to the *area immediately surrounding an MHF where both persons and property could be seriously impacted by a high consequence, low likelihood major incident at the facility*. The Outer Safety Area is a *precautionary safety area that extends beyond the inner safety area where the consequences of a major incident are not likely to cause a fatality but persons present may suffer some injury or adverse effects or be vulnerable in the event of a very large, potentially long duration major incident*.

The extent of a safety area depends on the characterisation of an MHF. Hobsons Bay has primarily 'flammable' MHFs with one 'highly flammable' MHF. The safety areas for these categories are found on WorkSafe Victoria's *Land use planning near a major hazard facility* website.⁸

In 2016 the Major Hazards Facilities Advisory Committee released a report to government recommending that the WorkSafe Inner and Outer areas be spatially represented and shown in planning schemes for MHFs.⁹ The Victorian Government response was to include additional provisions in the Victorian Planning Policy Framework, a new Ministerial Direction (20) that would require referral of an amendment to WorkSafe and the creation of a new tool – the Buffer Area Overlay (BAO). The BAO

⁶ Metropolitan Planning Strategy Plan Melbourne 2017-2050, Victorian Government, 2017 Policy 1.2.1, pg. 35

⁷ Interim Management of Land Use Planning around Major Hazard Facilities, Hobsons Bay City Council, 2014

⁸ Land use planning near a major hazard facility, WorkSafe Victoria, <https://www.worksafe.vic.gov.au/land-use-planning-near-major-hazard-facility>, accessed Feb 2023

⁹ Major Hazard Facilities Advisory Committee Final Report, 2016

would identify areas where there is potential for off-site impacts on human health and safety and would be the best tool to manage land use around MHFs.¹⁰

The Buffer Area Overlay was introduced into planning schemes in 2021 however a BAO schedule for MHFs is yet to be created. Council continues to meet the requirements of the planning scheme and rely on its own internal process that involves giving notice to WorkSafe Victoria of any planning application within an Inner or Outer Safety area. Council does not have the expertise that would be required to prepare a BAO schedule for MHFs that could then be consistently applied across the state.

Council continues to advocate to the Victorian Government to introduce a Buffer Area Overlay for MHFs to ensure an integrated, transparent and evidence-based approach to managing risk that is considered alongside other state objectives related to growth in established areas and activity centres.

Natural environments and industrial land

Hobsons Bay has a diverse range of natural environments and landscapes located near industrial areas which include foreshore areas, salt marshes, coastal wetlands, native grassland areas and parks. These environments are highly valued due to their recreational value and ecological significance. Many of these environmentally significant areas are located within industrial land. In many cases they provide buffers to adjoining areas such as residential land. This strategy aims to ensure that industrial areas enhance the natural environment by:

- encouraging the use of Environmentally Sustainable Development (ESD) principles and uptake of renewable energy where appropriate
- supporting the delivery of the Urban Forest Strategy in industrial areas by encouraging landscaping and increased tree canopy cover
- enhancing and protecting significant grasslands through the application of new planning controls and the design of industrial precincts
- enhancing and protecting waterway corridors and significant coastal wetlands through the design of industrial precincts (e.g. via integrated water management) to protect biodiversity and flora and fauna
- ensuring industries are aware of EPA's *General Environmental Duty* which includes but is not limited to, managing or minimising human health and environmental risks from:
 - the presence of contamination in land or groundwater
 - offsite impacts from activities that produce noise, odour, and dust
 - storage of liquids and chemicals
 - management of waste

Council has prepared draft design guidelines that include specific treatments for site boundaries that adjoin important natural environments. These treatments include specific setbacks, materials and plant species.¹¹

Protecting our native grasslands

¹⁰ Major Hazard Facilities, Government Response to the Major Hazard Facilities Advisory Committee, 2018

¹¹ Draft Industrial Design Guidelines, Hobsons Bay City Council, 2023

Natural Temperate Grasslands are present in key industrial precincts (Altona, Altona North and Williamstown). This is a critically endangered ecological community listed under the *Environment Protection Biodiversity Conservation Act 1999*. Due to development and fragmentation over time, remnant patches of grassland can be found on private land, and within public sites such as road reserves, rail corridors and parkland reserves. The grasslands provide habitat for many threatened species, including the Golden Sun Moth (*Synemon plana*), Striped Legless Lizard (*Delma impar*) and Spiny Rice-flower (*Pimelea spinescens*).

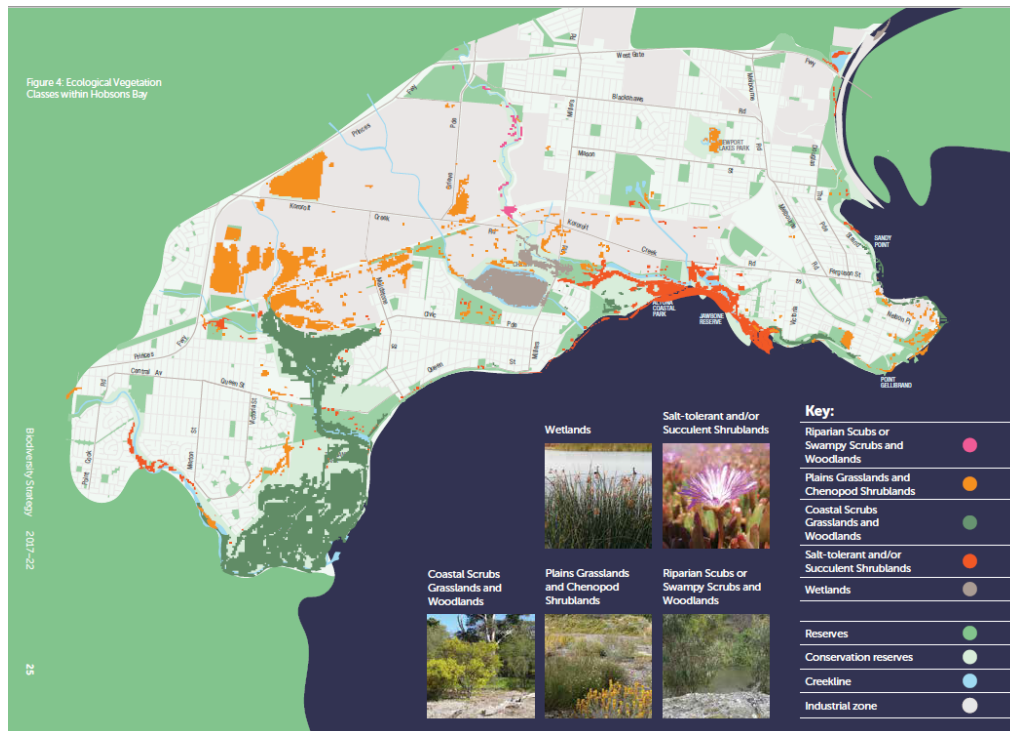


Figure 4: map of native grassland areas

Council's *Biodiversity Strategy 2017-2022* notes the conservation value of retaining the larger remaining grassland areas (refer to **Figure 4**), and the importance of strengthening connectivity among remnant patches to help protect genetic diversity within species. Future actions to protect grasslands include investigating the introduction of an Environmental Significance Overlay (ESO) to increase awareness of their location, describe their environmental value, and provide a more integrated approach for managing land use across the many dispersed remnant grassland sites. This could include establishing a network of grassland corridors to improve habitat and species resilience.

The Victorian planning system requires a planning permit to remove native vegetation (Clause 52.17 – Native vegetation). The biodiversity impacts from the removal or destruction of native vegetation must be offset in accordance with the *Guidelines for the removal, destruction or lopping of native vegetation* (Department of Environment, Land, Water and Planning, 2017).

Achieving the action in the Biodiversity Strategy 2017-22

Council is scoping work to identify areas with potential biodiversity value that require further investigation to verify the presence and significance of native grassland vegetation or habitat. This would inform an appropriate planning control such as an Environmental Significance Overlay (ESO) that would provide greater transparency in

terms of the location, values, and management of native grasslands and habitat in industrial areas. An ESO would include a description of the environmental significance of the area, and the environmental objectives to be achieved. This would provide a mechanism to identify and better protect biodiversity corridors that link existing conservation reserves and open space areas with high value biodiversity areas.

Urban design and the public realm in industrial areas

The look and feel of Hobsons Bay's industrial areas is an important contributor to worker amenity and business attraction. It is also important when designing industrial precincts to consider the needs of the current and emerging workforce and the community.

Due to a rise in remote working, employees now have more choice as to where and how they work. As industries compete to attract and retain talented staff, it is crucial that businesses provide their employees with a workplace environment that reflects their needs.

The draft design guidelines have been updated to support the delivery of high-quality industrial precincts. The design guidelines should be read in conjunction with this strategy. These design guidelines provide a series of design objectives and design guidance for industrial subdivision and development.

Council has also demonstrated its commitment to improving public amenity and the public realm in industrial areas via its 'Better Places' program. The program has delivered 'Place Guides' that include a list of projects that intend to improve industrial places and environments (Refer Section 7 for specific projects of relevance to the strategy).

This strategy is focussed on delivering high-quality working environments in all our industrial areas, with the aim to:

- enhance the urban forest (deliver Urban Forest Strategy) in industrial areas to support cooling of industrial areas, mitigate impacts of climate change and the urban heat island effect
- improve the interface with waterway corridors, to provide open space links as well as deliver key cycle and pedestrian links
- promote high-quality industrial development that enhances the existing industrial heritage fabric and adopts environmentally sustainable design principles
- better manage the interface between industrial uses with residential uses and areas of environmental significance
- create safer and more attractive working environments for employees and visitors via investment in the public realm and significant public transport upgrades

6. Current economic context and land supply

History of industrial land in Hobsons Bay

Industry in Hobsons Bay has been historically tied to maritime and ship building industries that were established along Port Phillip Bay. These early industries drove further investment into the city's railway infrastructure to support the efficient movement of goods and people, and subsequently, paved the way for more logistics, petrochemical and vehicle and associated manufacturing industries to establish.¹²

Land Supply

Hobsons Bay has a significant amount of industrially zoned land equivalent to almost one third of all land in the municipality (~1,700ha). Over 80% of which is identified as state significant industrial land, less than 10% as regionally-significant and the remainder as local industrial land.¹³

The municipality sits within the Western State Significant Industrial Precinct (SSIP) including Brimbank, Maribyrnong, Melton, Moonee Valley and Wyndham (refer **Figure 5**). This precinct is the largest in Victoria and has the fastest rate of industrial land consumption in comparison to other SSIPs.

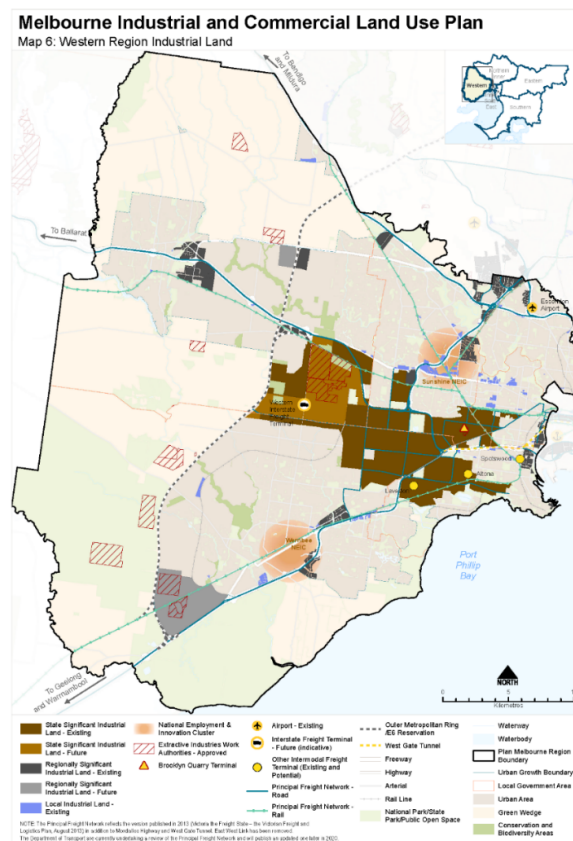


Figure 5: Western Region Industrial Land map, MCLUP, 2020

¹² Review of Industrial Land Use Planning Framework in Hobsons Bay, Plan2Place Consulting, March 2023

¹³ Melbourne Industrial and Commercial Land Use Plan (MCLUP), Victorian Government, 2020

According to data published by the Victorian Government via the Urban Development Program (UDP), in 2020:

- 19% or 271.1 ha of Hobsons Bay's state significant industrial land was vacant.
- 11% or 12.6 ha of Hobsons Bay's regionally significant industrial land was vacant.

The Victorian Government has predicted that based on the rate of consumption of industrial land the current supply of vacant land in Hobsons Bay and the Western SSIP will be depleted by the 2030-40s.¹⁴

The Victorian Government have identified that the finite amount of industrial land across the broader western region highlights the importance of retaining and protecting industrial land for economic and employment growth.¹⁵

Strategic Redevelopment Areas (SRAs)

The 2008 ILMS identified underutilised industrial sites that had the potential to transition to another use (primarily residential or commercial) to support economic activity or housing growth. These sites were termed Strategic Redevelopment Areas (SRAs). The majority of these SRAs have been rezoned or are in the process of redevelopment. The few SRAs that have not transitioned away from an industrial use have been subject to recent industrial planning permits.¹⁶ SRAs have had a profound impact on the municipality delivering thousands of new dwellings and ensuring that Hobsons Bay has exceeded its housing targets.¹⁷ In light of recent Victorian Government policy around protecting industrial land and given housing targets in Hobsons Bay have been met this strategy does not propose to continue with the process of identifying industrial areas (or SRAs) in Hobsons Bay for the purpose of rezoning these to a residential use. Some industrial areas may be considered for a rezoning to a commercial or other appropriate zone where this would benefit community, jobs and the local economy.

Melbourne's changing economy

Melbourne's economy is more dynamic than ever and has transformed at a rapid pace to respond to fluctuations in global markets, new technology and consumer patterns.¹⁸

Globalisation has made the world more interconnected. The global economy now relies on the fast exchange of goods, services, information, workers and ideas across international borders and markets. Many companies in Melbourne today can tap into a global market of consumers and workers and are in turn impacted by global market forces in a way that has forever changed how businesses operate and compete.¹⁹

The emergence of a knowledge-based economy in Victoria has also made access to information, talent, capital and supply chain inputs essential to gaining a competitive advantage. Businesses are increasingly choosing to collocate with clusters of similar or related industries that provide opportunities for innovation, collaboration and networking.²⁰

Similarly, there is growing demand and competition globally for specialised workers with skills in areas such as digital literacy, content production, creativity, research, and

¹⁴ Industrial land 2021, Urban Development Program, Department of Transport and Planning, August 2022

¹⁵ Melbourne Industrial and Commercial Land Use Plan (MICALUP), Victorian Government, 2020, pg.10

¹⁶ Review of Industrial Land Use Planning Framework in Hobsons Bay, Plan2Place Consulting, March 2023

¹⁷ Hobsons Bay Housing Strategy 2019 Volume 2 (Housing Capacity Assessment), pg. 39

¹⁸ Unlocking Enterprise in a Changing Economy, Victorian Government, 2018

¹⁹ Melbourne Industrial and Commercial Land Use Plan (MICALUP), Victorian Government, 2020, pg.9

²⁰Unlocking Enterprise in a Changing Economy, Victorian Government, 2018

innovative technologies. This has meant businesses are now looking to establish in areas that can provide high worker amenity and will appeal to a talented workforce.²¹

The economy has been disrupted by the onset of new technology. Artificial intelligence is fuelling automation and reducing unskilled labour costs. Manufacturing industries are now able to transition to more advanced production processes that can produce customised outputs for consumers. By applying new technology and unique knowledge, advanced manufacturers can now invent or develop new products that meet consumer demand.²²

The ability to adapt to supply chain disruptions is another important factor in today's economy. There has been a renewed focus at a federal level in recent years on issues of supply chain security as a response to the Covid-19 pandemic.²³ The Victorian Government is also looking at ways to create stronger industry connections and integrated supply chains via employment and manufacturing clusters.²⁴

There is also a focus at a state level on the benefits of moving to a circular economy, whereby the collocation of industries can create mutual benefits such as material recycling and access to local inputs to reduce waste to landfill. The Victorian Government is focussed on developing a circular economy to enable economic growth through more productive use of natural resources and to reduce the environmental impacts of production and consumption.²⁵ Hobsons Bay for example has a strong construction manufacturing sector that could benefit from recycled inputs and could also produce outputs for other processes.

There is a push globally to decarbonise energy production in response to climate change. The Victorian Government has set a target to have net-zero emissions by 2050 and obtain 50% of energy needs from renewable sources by 2030²⁶. This has implications locally for industries in Hobsons Bay. In particular, petrochemical and logistics and transport industries will need to think about how they can diversify their operations to achieve this target and explore lower-emission energy opportunities.

Planning for Hobsons Bay's industrial areas will need to consider Melbourne's changing economy to ensure industrial land use and development meets current and future needs.

COVID-19 economic recovery and resilience

The decision by National and State governments to close international borders and introduce requirements around social distancing and working from home to slow the infection rate of Covid-19 had a significant effect on the economy. These measures were unprecedented and led to several periods of 'lock down' that had the largest negative impacts for the State and National economies in 2019 and early 2020.²⁷

Economic activity was less impacted post 2020 once governments become more effective in containing the virus and vaccination rates increased. While economic activity largely returned to pre-covid levels by June 2021, growth challenges remain. These challenges

²¹ Unlocking Enterprise in a Changing Economy, Victorian Government, 2018

²² Advanced Victorian Manufacturing A Blue Print for the Future, Victoria Government, 2017-2050

²³ The Australian Government's Modern Manufacturing Strategy 2020

²⁴ Advanced Victorian Manufacturing A Blue Print for the Future, Victoria Government, 2017-2050

²⁵ Recycling Victoria: A New Economy, Victorian Government, 2020

²⁶ Victorian renewable energy and storage targets, Victorian Government, <https://www.energy.vic.gov.au/renewable-energy/victorian-renewable-energy-and-storage-targets>, accessed March 2023

²⁷ NIEIR (National Economics), Small area estimates of employment and economic value (2022)

include labour shortages due to a fall in net overseas migration, supply chain issues and rising cost pressures.

Impact on Hobsons Bay

The effects of the COVID pandemic, including restrictions on overseas migration and population movements to the regions, impacted population across Greater Melbourne, with most local government areas experiencing population declines. Between 2019 and 2021 Hobsons Bay’s population declined by 3.5 per cent to 92,275 (refer Figure 6).

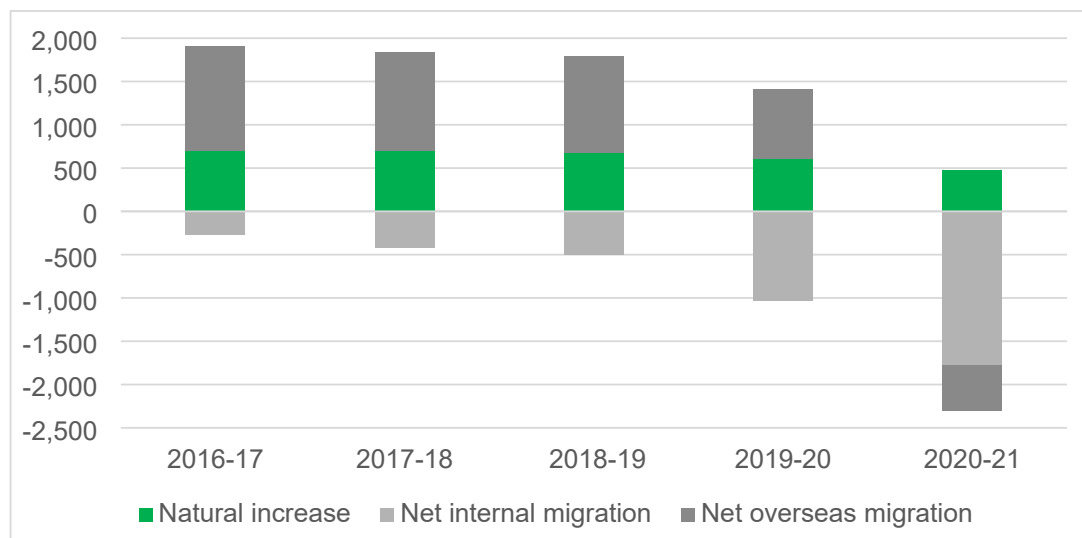


Figure 6: Change in component of population, persons, Hobsons Bay 2021 Source: Australian Bureau of Statistics (2020-21), Regional population, ABS Website, accessed 2 March 2023

The pandemic did deliver opportunities for growth in some sectors. Preliminary engagement undertaken with manufacturers in 2021 identified higher levels of local and international demand due to worldwide supply chain disruptions associated with Covid-19. This engagement found manufacturing, construction and logistics were less impacted than most other industries as they were permitted to continue operating under reduced workforce conditions²⁸.

The Covid-19 pandemic also forced more business and industries to accept remote working. This is particularly the case in Hobsons Bay given the relatively large share of white-collar residents and the fact that on census night in 2021 46% of the resident workforce identified as working from home (in comparison to 40% for Greater Melbourne)²⁹.

The amount of people shopping online increased significantly for Victoria in 2020 during the pandemic. Australia Post recorded an increase in E-commerce by 111% year on year in April compared to the previous year³⁰. This increase in online shopping has contributed to growth in demand for logistics services and floorspace.

²⁸ Hobsons Bay Re-imagining the Future of Industrial Land, Charter Keck Cramer, June 2021, pg.12

²⁹ ABS Census of Population and Housing 2021

³⁰ Hobsons Bay Re-imagining the Future of Industrial Land, Charter Keck Cramer, June 2021, pg.35

Overall recovery in jobs within Hobsons Bay has been faster than the Greater Melbourne average. By June 2021, Local Jobs were 4.3% above the pre-covid level (Dec Qtr 2019). In Greater Melbourne, Local Jobs were -0.3% below. The industries that were hit hardest in Hobsons Bay were the tourism and hospitality sectors and these sectors are still recovering.³¹

Changing local workforce

Between 2016 and 2021 the share of residents aged over 15 years with a Bachelor or Higher degree qualification increased by 5.7% points to 31.8% in Hobsons Bay, which was comparable to the Greater Melbourne average of 32.8% and higher than the Western Melbourne average of 27.8%.

This suggests a change in the resident workforce and a demand for more skilled jobs to align with the local working population in Hobsons Bay.

There also appears to be a mismatch between resident skills and local jobs highlighted by jobs deficits in professional occupations. For example, in 2021 the share of resident workers in Professionals and Managers occupations was higher than the share of local workers in the same occupations in Hobsons Bay.³²

In addition, many residents are travelling outside of Hobsons Bay to get access to higher paid jobs. In 2021 more resident workers were earning between \$91,000-\$155,000 and \$156,000 or more per year than local workers.³³

A quarter of our resident population work within Hobsons Bay (25.9%) and another quarter travel to the Melbourne LGA (25.2%). The remainder travel outside of Hobsons Bay to areas such as Wyndham (10.13%), Maribyrnong (6.1%) and Brimbank (5.6%).³⁴

Conversely, seven out of ten people (69.1%) who work in Hobsons Bay travel in from another Local Government area. The main ones being Wyndham (21.2%), Brimbank (7.3%) and Melton (6.7%). This highlights the importance of transport and connectivity to between Hobsons Bay and other areas in the Greater Western Melbourne Region.³⁵

While there are a high proportion of skilled workers in Hobsons Bay, the city could benefit from more post-secondary TAFE or University institutions or satellite campuses that focus on building tailored skill programs (e.g., advanced manufacturing courses) to help transition employee skillsets into emerging industry sectors.

Key industries in Hobsons Bay

In 2021 industrial precincts supported approximately 46% of total jobs in Hobsons Bay and generated half of the city's economic value.

The key industries in Hobsons Bay in terms of jobs and economic output in 2021 were Manufacturing, Freight and Logistics, Construction and Wholesale industries.

³¹ NIEIR (National Economics), Small area estimates of employment and economic value (2022)

³² ABS Census of Population and Housing 2016 and 2021

³³ ABS Census of Population and Housing 2021

³⁴ Ibid

³⁵ Ibid

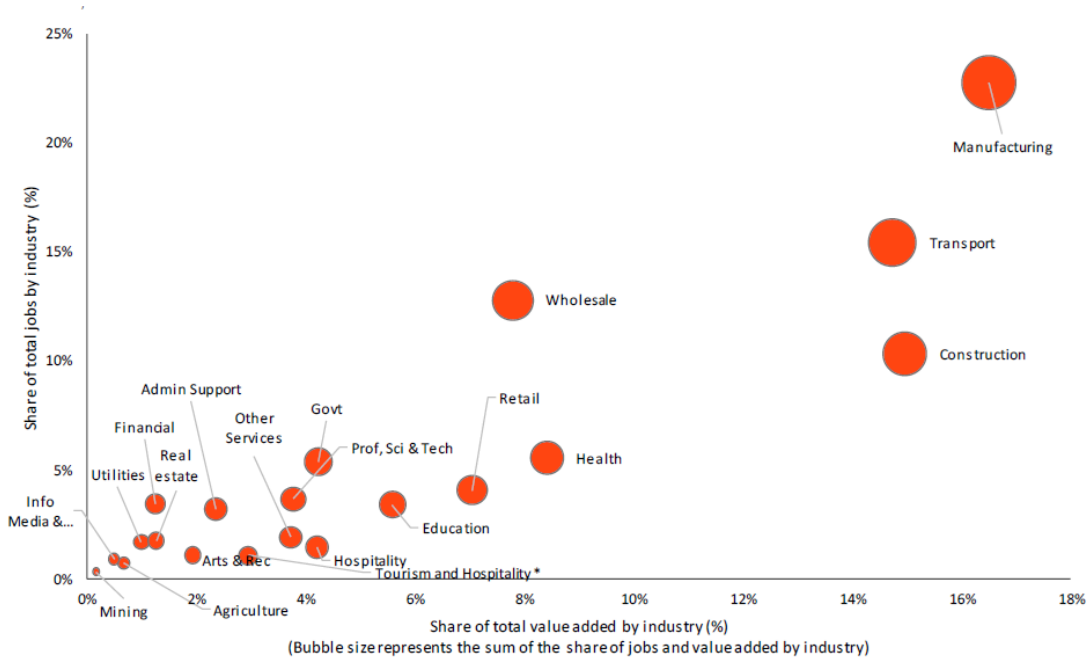


Figure 7: Industry share of local jobs and value added – Hobsons Bay % of total 2021 Source: NEIR, 2022

Manufacturing was the largest employer in 2021, supporting 7,174 jobs or 16% of total jobs in 2020/21. Construction was the second largest employer (6,503 jobs or 15% of total jobs), followed by Freight and Logistics (Transport, Postal and Warehousing) (6,402 jobs, 15%)³⁶.

In terms of value added, Manufacturing generated the largest economic value of \$1,172 million or 23% of total value added in Hobsons Bay. Freight and Logistics generated the second largest economic value of \$794 million or 15% of total value added, followed by Wholesale Trade (\$658 million, 13%)³⁷.

Key industries by precinct

The below graph identifies the highest employing industries and industry mix in each industrial precinct for the year 2021 and compared to the broader Western Region.

The importance of each individual precinct to the overall economy is discussed further at Section 7 (Land Use Framework).

³⁶ NIEIR (National Economics), Small area estimates of employment and economic value (2022)

³⁷ Ibid

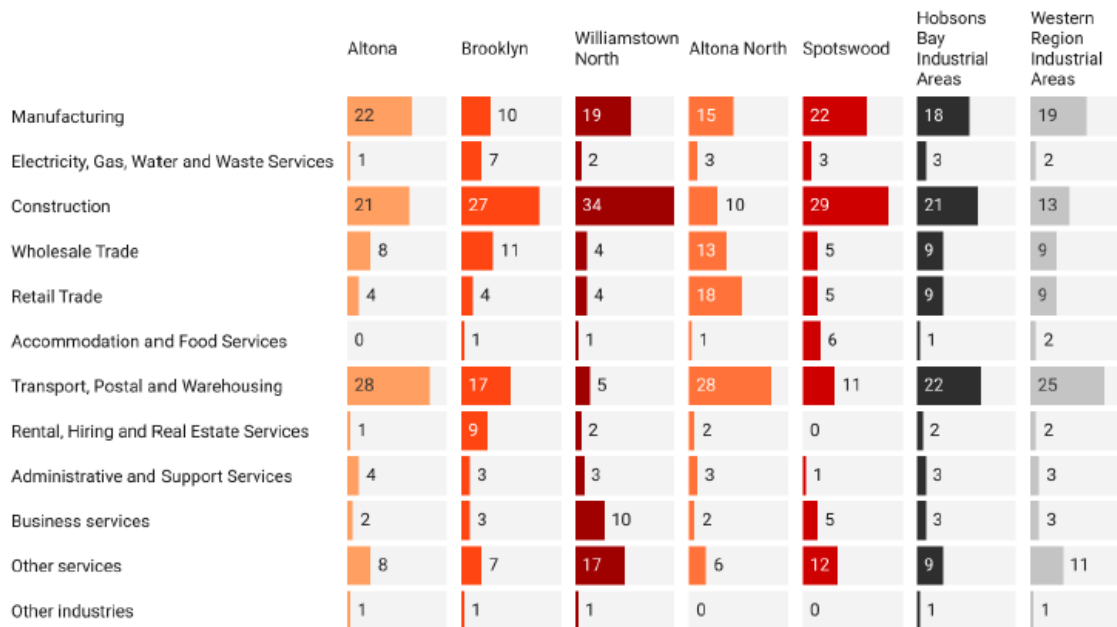


Figure 8: Industry mix in industrial precincts (% of employment) – 2021 Source: ABS Census of Population and Housing 2061 and 2021

Change in industries over past 5 years

Industries in Hobsons Bay have been impacted by COVID-19, globalisation and other external factors. Major employers in Hobsons Bay within the car manufacturing as well as petroleum and petrochemical industries have announced changes and a scaling down of operations over the past five years.

The closure of the Exxon Mobil refinery has had significant impacts on employment in the manufacturing sector with close to 300 jobs lost. The petroleum industry in Hobsons Bay has also been impacted by Commonwealth Government changes to minimum stock obligations that require Australia’s major fuel importers and refineries to hold baseline levels of stocks of petrol, diesel fuel and jet fuel at their facilities.³⁸

While the manufacturing industry remains the largest employer and economic value generator in Hobsons Bay, the share of jobs in this sector has declined due to the closure of the Toyota factory. Despite this decline, non-car Manufacturing employment grew by 23% between 2016 and 2021 in Hobsons Bay. This was largely driven by growth in Food Product Manufacturing, Petroleum and Coal Product Manufacturing and Machinery and Equipment Manufacturing sectors.³⁹

Construction employment has grown significantly over the past five years with strong demand from several building markets (e.g. housing, road and rail projects in Greater Melbourne). In addition, the Wholesale Trade and the Freight and Logistics Sector has increased following a considerable increase in warehouse development and investment in intermodal hubs in Altona and Altona North.

³⁸ Minimum stockholding obligation, accessed via <https://www.energy.gov.au/government-priorities/energy-security/australias-fuel-security/minimum-stockholding-obligation>

³⁹ NIEIR (National Economics), Small area estimates of employment and economic value (2022)

Other Industries

Service industries include administration, café's, supermarkets, and other small commercial and retail uses that workers need, and businesses rely on to function. In a survey undertaken by Council in 2023, businesses identified the importance of having access to service industries to support their operations and cited the lack of access to retail and other smaller commercial uses as a barrier. In some industrial precincts the zoning does not currently allow for a mix of uses that would support service industries.

The tourism sector is also growing in Hobsons Bay with regional tourist destinations in Spotswood and Williamstown supporting a strong visitor economy. The tourism sector relies on a mixed-use environment that includes cafes, restaurants, and retail. Industrial land use in these precincts will need to be sensitive to any off-site amenity impacts that could affect the visitor economy.

Emerging industries

The strategy continues the work undertaken as part of the 'Reimagining our Industrial Areas' project that identified emerging industry sectors that could thrive in Hobsons Bay.⁴⁰ These industries have been considered for their alignment with the key objectives and vision listed in Section 2 and how well they are in keeping with industrial land use settings.

Advanced Manufacturing

Advanced manufacturing is a form of manufacturing that relies on unique knowledge, including specialised technologies, manufacturing inputs and production processes.⁴¹

The Victorian Government characterises the advanced manufacturing industry in Melbourne's west as "*companies specialising in the manufacture of prefabricated construction materials, building fittings and furniture, processed foods, beverages, packaging materials, chemicals, paper products, specialty vehicles, paints and coatings, textiles, steel fabricated products and heavy engineering*".⁴²

Hobson's Bay has many of the pre-conditions required to support a thriving advanced manufacturing sector including access to skilled workers, large self-contained sites, high-capacity energy infrastructure and accessibility.⁴³

There is potential for new advanced manufacturing industries to develop in all of Hobsons Bay's industrial precincts in particular:

- advanced construction manufacturing industries to concentrate in areas where there is an established construction sector

The advanced manufacturing sector also has the potential to support other industries and jobs. Advanced manufacturing in Hobsons Bay has a jobs multiplier of 2.4 times

⁴⁰ Reimagining our Industrial Areas – A Statement of Opportunity, Hobsons Bay City Council, 2021

⁴¹ Hobsons Bay Reimagining the Future of Industrial Land, Charter Keck Cramer, June 2021, pg. 26

⁴² Advanced Victorian Manufacturing A Blue Print for the Future, Victoria Government, 2017, pg.9

⁴³ Hobsons Bay Reimagining the Future of Industrial Land, Charter Keck Cramer, June 2021, pg. 26

supporting supply-chain jobs in professional services, transport, postal and warehousing etc.⁴⁴

Digital Enterprise

Digital enterprise industries provide services that enable digital commerce such as digital marketing, technical support, infrastructure and platform development and maintenance, recruitment and project management.⁴⁵

Hobson's Bay has many of the pre-conditions required to support a thriving digital enterprise and technology sector including access road networks and consumers, access to skilled workers and logistics businesses to support growth in e-commerce.⁴⁶

There is potential for new digital industries to develop in Hobsons Bay's industrial precincts in particular:

- in areas such as Brooklyn, Spotswood, Altona and Altona North, e-commerce businesses could be co-located with logistics and distribution
- in areas such as Altona and Altona North new robotics and automation industries could support logistics and supply chain management as a specialisation of the transport and logistics industry
- in areas such as Brooklyn, Altona North and Spotswood, data centres could support cloud computing and drive growth in other digital services
- in the Williamstown North industrial precinct where there is a specialisation in computer system design and related services compared to the Western Region

The digital enterprise sector also has the potential to support other industries and jobs. The digital enterprise industry in Hobsons Bay has a job multiplier of 1.2 times with supply-chain jobs in professional services, administration and support services etc.⁴⁷

New Energy

New energy industries create energy from renewable sources and alternate forms of energy.⁴⁸ The eventual retirement of fossil fuel energy, will be accompanied by the ongoing growth of renewable energy. This provides an opportunity for Hobsons Bay to lead the way in this sector and capitalise on state investment in meeting zero emissions targets by 2050.⁴⁹

Hobsons Bay has a long history in the refinement, storage and distribution of energy and has the expertise, land use settings, self-contained sites and established infrastructure that is needed to support new energy industries.

New energy industries in Hobsons Bay have a jobs multiplier of 1.2 supporting supply-chain jobs in professional services, finance and insurance services etc.⁵⁰ This sector is typically lower employing than other sectors and would therefore be best suited to industrial areas where established industry buffers restrict employee densities (e.g., MHF buffers).

⁴⁴ NIEIR (National Economics), Small area estimates of employment and economic value, 2022

⁴⁵ Hobsons Bay - Reimagining the Future of Industrial Land, Charter Keck Cramer, June 2021, pg.35

⁴⁶ Hobsons Bay - Reimagining the Future of Industrial Land, Charter Keck Cramer, June 2021, pg.29

⁴⁷ Ibid, ABS Census of Population and Housing 2021

⁴⁸ Hobsons Bay - Reimagining the Future of Industrial Land, Charter Keck Cramer, June 2021, pg.44

⁴⁹ Victoria's Climate Change Strategy, Victorian Government, May 2021

⁵⁰ NIEIR 2022, ABS Census of Population and Housing 2021

There is potential for new energy industries to develop in Hobsons Bay's industrial areas in particular:

- in precincts such as Williamstown North, Altona or Altona North where existing energy infrastructure and established industry buffers exist
- in Altona North where Toyota currently have established the Toyota Hydrogen Centre and commercial grade hydrogen production, storage and refuelling facility
- in areas collocated with advanced manufacturing industries, to provide a reliable and renewable power source

Circular Economy

Circular economy industries include manufacturing and recycling industries (such as plastics recycling) that break down waste into raw materials or explicitly use recycled inputs to develop new products to ultimately reduce the amount of waste that goes to landfills.⁵¹

The strategy will focus on supporting industries such as more contemporary recycling facilities that renew and repurpose waste that has already been collected, sorted and processed and that produce new products that can become part of a circular economy. Repurposing is the end process of the broader recycling sector. These are facilities that require more technical employment and have less offsite impacts.

The city is well positioned to capitalise on state investment into the circular economy sector given it has access to large self-contained sites located away from residential areas, an established and growing manufacturing and freight and logistics sector and access to markets for materials.⁵²

Circular economy industries in Hobsons Bay have a jobs multiplier of 2.1 with supply-chain jobs in professional, finance and insurance services as well as transport, postal and warehousing etc.⁵³ This sector is typically lower employing than other sectors and would therefore be best suited to industrial areas where established industry buffers restrict employee densities (e.g., MHF buffers).

There is potential for circular economy industries to develop in Hobsons Bay's industrial areas in particular:

- in Altona where established industry buffers exist and there is a history of polymer and polythene manufacturing (Qenos)
- in precincts such as Altona and Altona North that have access to freight and logistics businesses that can get goods to market quickly
- in precincts with a strong manufacturing base and construction industries where recycled or repurposed goods and materials can form part of local supply chains
- areas located away from residential communities and that can achieve separation distances as required for new industry

⁵¹ Hobsons Bay - Reimagining the Future of Industrial Land, Charter Keck Cramer, June 2021, pg.55

⁵² Recycling Victoria: A new Economy, Victorian Government, February 2020

⁵³ NIEIR 2022, ABS Census of Population and Housing 2021

7. Industrial Land Use Framework

The following section provides a framework to guide land use and development in industrial precincts in Hobsons Bay to deliver on the vision and objectives of the strategy.

Precinct Directions

The strategy identifies precinct directions for each key industrial precinct based on the planning and economic context to inform the land use framework.

Precinct directions consist of:

- **Future focus** (identifies a future focus for each industrial precinct with reference to the four key objectives of the strategy)
- **Established industries** (identifies key industries established in each precinct)
- **Industries to target** (identifies emerging industries to target in each precinct)
- **Strategic land use categories** (indicates the future role and function of each industrial precinct)
- **Zoning options** (identifies potential changes to planning zones to support the strategy)
- **Movement network** (identifies how the movement network could be improved to achieve the strategy vision, objectives and future focus)
- **Further strategic work** (identifies further strategic planning work that need to be done to achieve the strategy vision and objectives)
- **Priority streets for improvements** (identifies where streetscape upgrades should be prioritised in the precinct)
- **Industrial design and built form** (identifies important design and built form considerations for the precinct)

Strategic Land Use Categories

The industrial land use framework applies three strategic land use categories to industrial land in Hobsons Bay. Each category has been applied based on an area's characteristics, aspirations and limitations. The categories are intended to guide land use and identify areas for jobs growth. The three categories are:

- Core Industrial Area
- Secondary Industrial Area
- Core Employment Area

Refer to pg.10 for updated and new land use category details.

Objectives recap

The strategy is guided by the following key objectives which have informed the future focus for each key industrial precinct (refer Section 2):



Increase local jobs and employment and diversify industry sectors



Balance economic growth with community impacts



Become an environmental leader and promote more sustainable and green industries



Continue to attract investment to support a resilient and prosperous local economy

Key industrial precincts

Spotswood Industrial Precinct

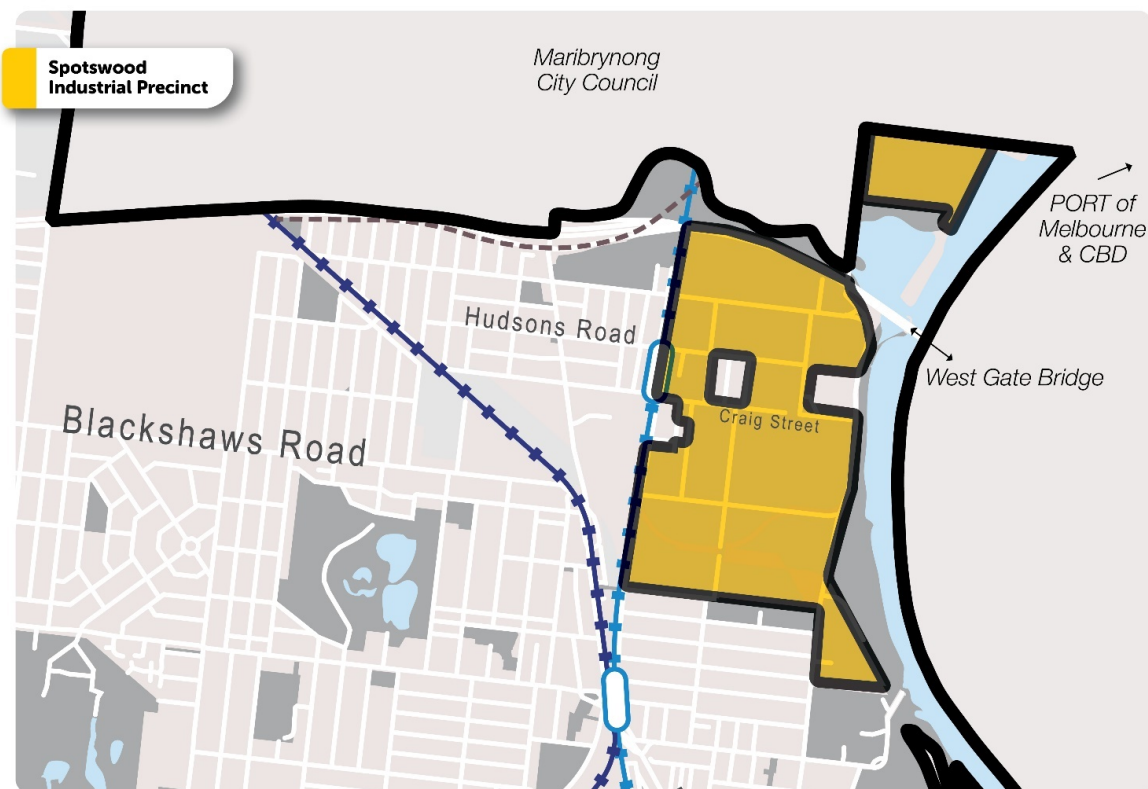
Current snapshot:

- industrial and commercial precinct that supports a regional tourist destination, state significant glass manufacturing and fuel storage terminals
- strategically well-located precinct with immediate access to a high frequency rail line, the West Gate Freeway, Port of Melbourne and Fisherman's Bend
- proximity to a growing residential population and smaller scale retail and commercial businesses and a commercial centre to the west at Hudsons Road
- areas of poor amenity, walkability and cyclability with limited access to open space and poor tree canopy coverage
- ongoing issues with land use conflict due to MHFs, movement of heavy vehicles through commercial areas and industrial uses that abut historic workers cottages
- underutilised or vacant industrial land parcels with the potential for urban renewal
- important industrial heritage sites that demonstrate the city's industrial past

PRECINCT OVERVIEW

Issues	Opportunities
Land use conflict	Vacant or underutilised sites
High land costs	Access to public transport
Population density limits associated with MHF safety areas	Significant circular economy businesses and opportunities for collaboration
Poor amenity (trucks / noise)	Access to skilled workforce
Restricted access for heavy vehicles	Proximity to CBD, Port of Melbourne and Fishermans Bend

PRECINCT MAP



PRECINCT SUMMARY AND DIRECTIONS






Precinct Summary

Land area	128.6ha
Total jobs in 2021	1,754 (4.8% of LGA employment)
Largest employers	Construction, manufacturing, freight and logistics, tourism
Total businesses in 2021	158 (1.5% of LGA)
Underutilised land area*	12.2ha of which 9.7ha is vacant
<i>*refer to definitions table</i>	
Transitioning land area*	11.5ha
<i>*known development potential/industry change that does not fit underutilised land area category</i>	
Current zones	Industrial 1 Zone, Industrial 3 Zone
Current overlays	Design and Development Overlay (DDO1 – Westgate Bridge Approaches) Heritage Overlay Special Building Overlay

MICLUP designation	Regionally significant industrial land
Major Hazard Facilities	Viva Energy, Ampol Spotswood/Newport, Mobil Yarraville
Significant environmental assets	Yarra River, Stone Creek Backwash
Better Places Spotswood South Kingsville Place Guide Projects	Project 2 – Future Industries Action Group Project 4 – Better Place for Industries Project 6 – The Greenline (Craig St section) Project 5 – Streets for people Project 7 – Missing Links Project Project 8 – Multimodal Network Project 12 – Re-connecting to Water and Environment

Precinct Directions

Future focus:

-  diverse, vibrant, high employing and high amenity industrial, tourism and commercial precinct with supportive local industry networks and partnerships
-  shift towards more knowledge-based, digital, and advanced manufacturing industries that deliver skilled jobs and adopt new technologies
-  a local movement network that supports a modal shift to active and public transport to support higher job densities
-  urban renewal of industrial sites and investment in the public realm to attract high value businesses and deliver improved amenity, cyclability and walkability, tree canopy coverage and access to open space and the Yarra River
-  retail and commercial uses that support the local community, visitors and workers and provide a buffer between community and established heavy industry

Strategic land use categories	Core employment, Secondary industry Core industry
Zoning options	Retain Industrial Zone 1 Investigate IN3Z and C2Z for land close to Spotswood Station to provide more commercial floorspace / service industries and act as buffer to heavier industry within INZ1
Established industries	Tourism, manufacturing, construction
Industries / sectors to target	Digital industry, freight and logistics (new format e-commerce logistics), advanced manufacturing / enterprise, professional, creative and knowledge-based industries
Movement network	Modal shift to support active and public transport use over private vehicles

	<p>Limit heavy vehicle movements on Hudsons Road and via commercial area</p> <p>Improved E-W and N-S cycle links</p> <p>Level Crossing Removal Hudsons Road to improve access for all modes</p>
Priority streets for improvements	<p>Hudsons Road</p> <p>Hall Street</p> <p>Birmingham, McLister and Craig Streets</p> <p>Simcock Avenue</p> <p>The Avenue West</p> <p>Booker Street</p>
Further strategic work	<p>Finalise and implement the draft Spotswood Activity Centre Structure Plan</p> <p>Advocate to State Government to apply a Buffer Area Overlay to manage MHF risk</p>
Industrial design and built form	<p>Improve amenity, design and environmental performance of Spotswood industrial areas</p> <p>Ensure industrial heritage places and tourism destinations are safeguarded</p> <p>Enhance greening of key streets (e.g Hudsons Road)</p> <p>Improve accessibility and connections to the Principal Bicycle Network and West Gate Punt</p> <p>Ensure new development has appropriate setbacks and interfaces to open space and is sensitive to areas of environmental significance</p>

Brooklyn Industrial Precinct

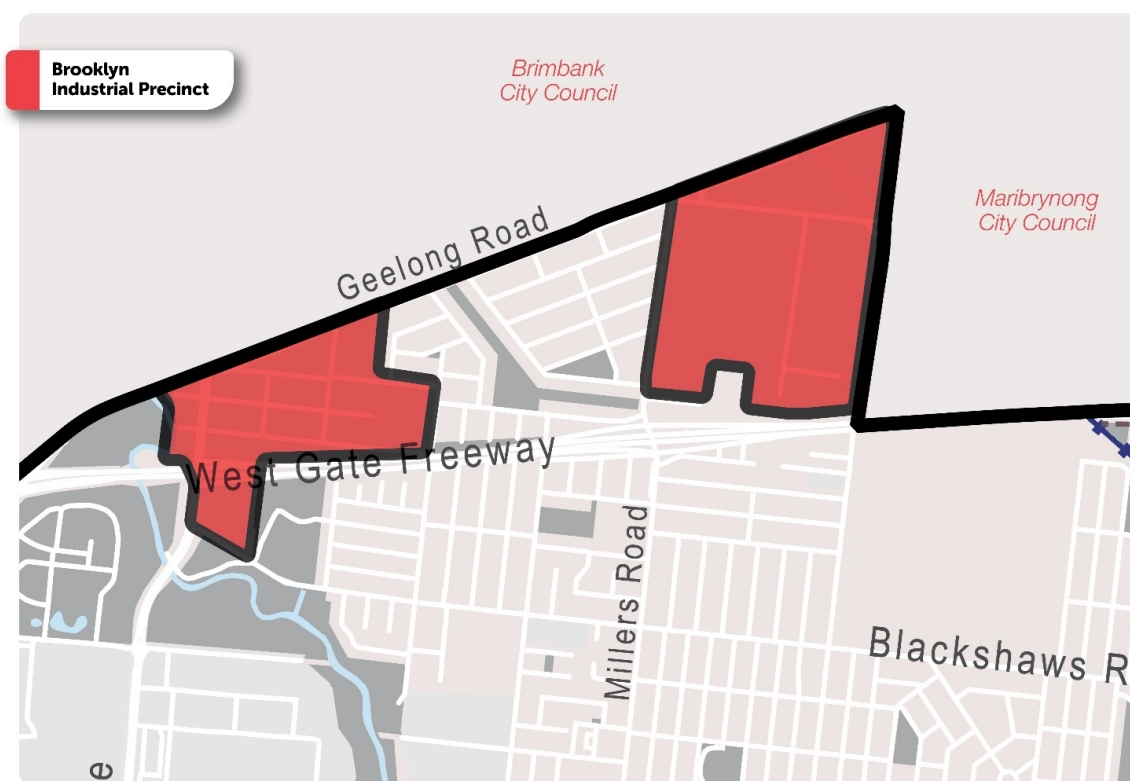
Current focus:

- industrial precinct dissected by an established residential community that forms a northern gateway into the municipality at Millers Road and Grieve Parade
- transport and logistics businesses that utilise surrounding major freight routes (Geelong Road / Westgate Freeway) to access the CBD and the western region
- industrial areas that support small through to larger format businesses and that contribute to a diverse economy in Hobsons Bay
- air quality issues due to industrial precincts to the north of Geelong Road and heavy vehicles on Millers Road that impact the established residential community
- high concentration of jobs in the construction sector

PRECINCT OVERVIEW

Issues	Opportunities
Air quality / dust issues	Advanced construction manufacturing cluster
Land contamination	Diversity of lot sizes
Heavy vehicle movements through residential areas	Gateway into Hobsons Bay
Land use conflict / interface issues	Proximity to road freight corridor / Geelong Road / regional goods rail line to east
Poor walkability / amenity	Access to local population and skilled workers

PRECINCT MAP



PRECINCT SUMMARY AND DIRECTIONS






Precinct summary

Land area	124.6ha
Total jobs in 2021	1978 (5.4% of LGA)
Largest employers	Construction, freight and logistics, wholesale trade

Total businesses in 2021	455 (4.2% of LGA)
Underutilised land area*	15.6ha of which 1.8ha is vacant
<i>*Refer to definitions table</i>	
Current zones	Industrial 1 Zone, Industrial 3 Zone
Current overlays	Special Building Overlay Public Acquisition Overlay Environmental Significance Overlay
MICLUP Designation	State Significant Industrial Land Local Industrial Land
Environmental assets	Kororoit Creek
Better Places – Brooklyn and Altona North Place Guide Projects	Project 1 – Cleaner and Healthier Project Project 2 – Greening your Neighbourhood Project 4 – Multimodal Network Project 5 – Streets for People (the Link)

Precinct Directions

Future focus:

-  transition to lighter industries that have limited off-site air quality and amenity impacts and businesses that service the local community
-  high amenity areas with access to safe pedestrian and cyclist links including improved cycle links to the Federation trail and south to Altona / Altona North
-  clustering of businesses in the advanced construction manufacturing and digital services sector that drive innovation and provide more skilled jobs
-  local freight and logistics businesses that capitalise on access to key freight routes and utilise low emissions vehicles
-  support for active frontages particularly along main roads and a range lot sizes that support businesses of all scales to locate in Hobsons Bay

Strategic land use category	Core employment, Secondary industry
Future zoning options	Retain Industrial 1 Zone and Industrial 3 Zone. Investigate option to rezone Industrial 1 Zone land to Industrial 3 Zone where adjoining residential land and to support more service industries
Established industries	Construction, freight and logistics, wholesale trade, manufacturing
Industries / sectors to target	Digital industry, new format e-commerce logistics, advanced manufacturing, advanced construction manufacturing

Movement network	<p>Focus freight movements to Grieve Parade over Millers Road</p> <p>Deliver safe north / south pedestrian and cycle connection from Federation Trail to Altona North</p> <p>Where possible, ensure development has a frontage / accessway to Federation Trail to enable modal shift</p>
Priority streets for improvements	Millers Road
Further strategic work	<p>Planning Scheme Amendment to introduce INZ3 and design guidelines</p> <p>Structure Planning for Millers Road Spine</p>
Industrial design and built form	<p>Improve amenity, design and environmental performance of Brooklyn's industrial areas</p> <p>Ensure new development has appropriate interface and is sensitive to adjoining residential areas and areas of environmental significance</p> <p>Enhance greening of key streets (e.g Millers Road)</p> <p>Improve accessibility and connections to the Federation Trail</p>

Altona Industrial Precinct

Current focus:

- state significant petrochemical manufacturing industries including polymer and polythene manufacturing
- large self-contained sites with low site coverage and low employment densities due to restrictive planning controls that protect the petrochemical sector
- growing transport and logistics sector supported by proximity to principal freight line (rail and road), a major intermodal rail freight terminal and future Inland Port
- significant fragmented grassland areas that support species protected under state and commonwealth legislation
- industrial areas to south of rail line that interface with sensitive land use

PRECINCT OVERVIEW

Issues

Restrictive planning controls

Employee population density limits associated with MHF

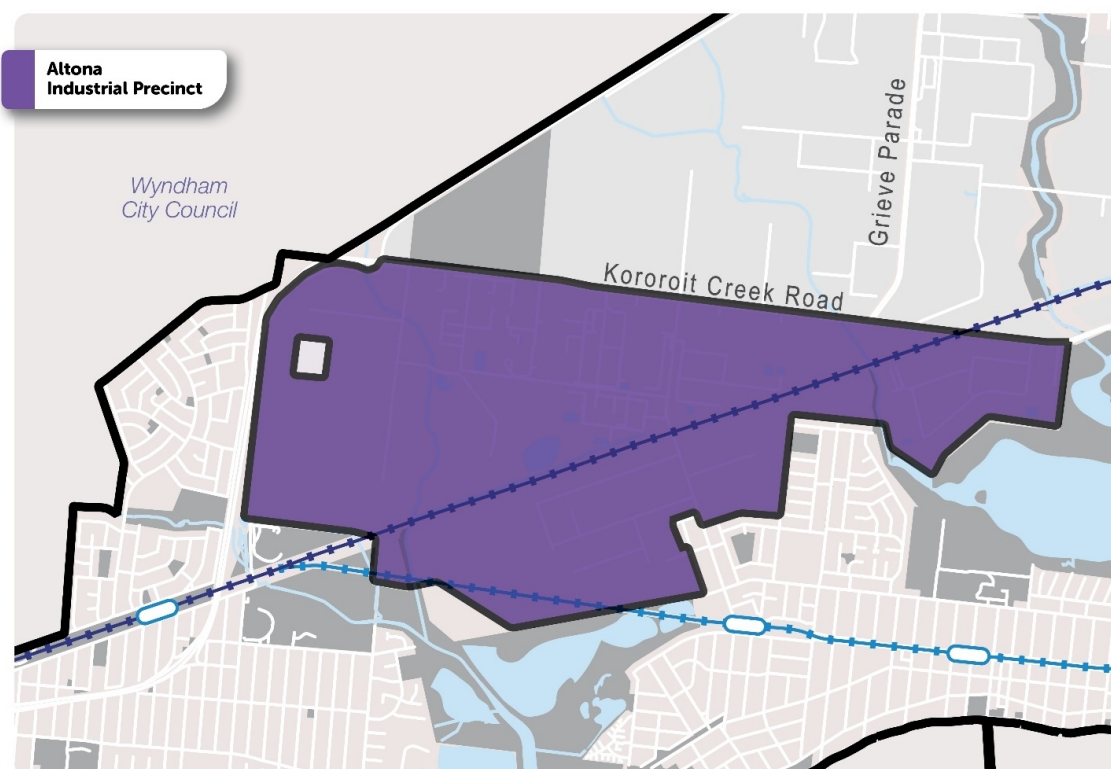
Opportunities

Established industry buffers

Proximity to Princes Freeway, Principal rail freight line, Inland Port

Poor amenity and walkability / cyclability	Large vacant and self-contained land parcels
Residential subdivision of industrial lots (Burns Road)	Access to skilled workers
Land use conflict / offsite amenity impacts (noise, dust etc.)	Established manufacturing and circular economy industries
Poor interface with grassland areas	

PRECINCT MAP



PRECINCT SUMMARY AND DIRECTIONS






Precinct summary

Land area	684.8ha
Total jobs in 2021	5210 (14.2% of LGA)
Largest employers	Freight and logistics, manufacturing, construction
Total businesses in 2021	190 (1.8% of LGA)
Underutilised land area*	307.9ha of which 190.4ha is vacant
<i>*Refer to definitions table</i>	
Current zones	Industrial 1 Zone, Special Use Zone 3 (Petrochemical Complex Area), Special

	Use Zone 4 (Altona Special Industrial Area)
Current overlays	Land Subject to Inundation Overlay Public Acquisition Overlay
MICLUP designation	State Significant Industrial Land
MHFs	Qenos
Environmental assets	Grasslands, Cherry Lake, Laverton natural wetland, Laverton Creek, Kororoit Creek

Precinct Directions

Future focus:

-  unlocking of underutilised industrial land historically tied to the petrochemical industry to support more jobs and economic activity
-  key areas of significant grasslands protected and enhanced in particular at Burns Road and Ajax Road to maintain a diverse species of flora and fauna
-  clustering of transport and logistics industries that utilise rail freight and link in with new energy, circular economy and advanced manufacturing industries
-  light industrial uses and service industries encouraged to the south of the rail line where industrial land abuts residential development
-  state investment in a new commuter rail station to support workers and community

Strategic land use category	Core industry, Secondary industry
Future zoning options	Review SUZ4 (including employee population density, site coverage and other built form controls) Review extent of SUZ3 and SUZ4 and consider application of standard industrial zones or revised schedule to SUZ Consider application of IN3Z adjoining sensitive uses to south of rail line
Established industries	Freight and logistics, manufacturing (petrochemical), construction
Industries / sectors to target	New format e-commerce, logistics technology, advanced manufacturing, circular economy manufacturing, contemporary recycling
Movement network	Commuter rail and station for workers Improved cycle connections to north Extension of frequent east-west and north-south bus services to and within the precinct

Priority streets for improvements	Kororoit Creek Road (State Government managed road)
Further strategic work	<p>Planning Scheme Amendment to implement new land use planning framework</p> <p>Advocate to State Government to apply a Buffer Area Overlay to manage MHF risk</p> <p>Environmental Significance Overlay for native grasslands areas</p> <p>Review of Public Acquisition Overlay</p>
Industrial design and built form	<p>Improve amenity, design and environmental performance of Altona's industrial areas</p> <p>Ensure new development has appropriate setbacks and interfaces to open space and is sensitive to areas of environmental significance (inc. native grassland)</p> <p>Enhance greening and canopy cover within streetscapes</p> <p>Improve accessibility throughout the precinct and connections to Kororoit Creek Trail</p>

Altona North Industrial Precinct

Current focus:

- highest employing industrial precinct that generates significant economic activity within Hobsons Bay and in the Western Region
- significant growth in freight and logistics sector due to proximity to principal rail freight line and state investment in the Altona intermodal freight terminal
- significant grassland areas and Kororoit Creek that support diverse flora and fauna
- car dominant area with a lack of public transport options and a fragmented trail network along Kororoit Creek for cyclists and pedestrians
- growing hydrogen industry driven by the establishment of a commercial-grade hydrogen production, storage and refuelling facility as part of the Toyota Centre of Excellence
- interface issues to the east of Kororoit Creek where industrial development abuts Millers Junction enterprise area and the established residential community

PRECINCT OVERVIEW

Issues

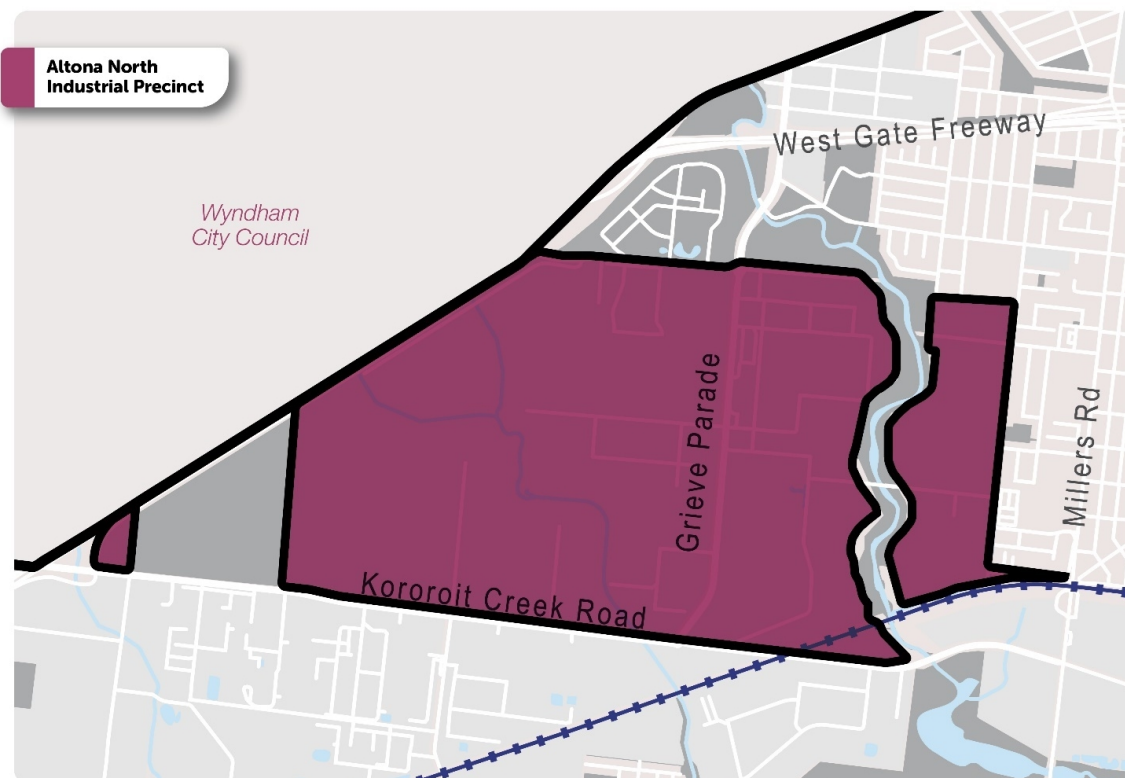
Lack of cyclability, walkability and access to public transport

Opportunities

Established new energy infrastructure (hydrogen)

Restrictive planning controls	Established and growing freight and logistics sector
Land contamination	Access to rail freight line, road freight routes
Potential land use conflict for sites adjoining and east of Kororoit Creek	Access to Kororoit Creek Trail
Limited tree canopy coverage	Large self-contained sites






PRECINCT MAP



PRECINCT SUMMARY AND RECOMMENDATIONS

Precinct summary

Land area	588.3ha
Total jobs in 2021	5,637 (15.14% of LGA)
Largest employers	Freight and logistics, retail trade, manufacturing
Total businesses in 2021	212 (2% of LGA)
Underutilised land area*	129.9ha of which 2ha are vacant
<i>*Refer to definitions table</i>	

Current zones	Special Use Zone 4 (Altona Special Industrial Area), Industrial 1 Zone, Industrial 3 Zone Public Park and Recreation Zone
Current overlays	Heritage Overlay Land Subject to Inundation Overlay Special Building Overlay Public Acquisition Overlay
MICLUP designation	State Significant Industrial Land
MHFs	N/A
Environmental assets	Grasslands, Kororoit Creek, Cherry Creek
Better Places – Brooklyn and Altona North Place Guide Projects	Project 1 – Cleaner and Healthier Project Project 2 – Greening your Neighbourhood Project 4 – Multimodal Network Project 5 – Streets for People (the Link)
Precinct Directions	
Future focus:	
	unlocking of underutilised industrial land historically tied to the petrochemical industry to support more jobs and economic activity
	new energy industries that fuel local advanced manufacturing and growing freight and logistics sectors and that support a zero-carbon future
	new grassland conservation areas and a safe and connected cycle link along Kororoit Creek for workers and community that connects through to Cherry Creek
	state investment into new frequent bus and commuter rail services to support increased job densities and worker amenity
	higher employing and lighter industries in industrial areas to the east of Kororoit Creek that provide more skilled jobs and services for workers and our community
Strategic land use category	Core industry, Secondary industry
Future zoning options	Review SUZ4 (including employee population density, site coverage and other built form controls) Review extent SUZ4 and consider application of standard industrial zones Consider application on IN3Z where adjoining sensitive uses Review PPRZ along Kororoit Creek corridor (in regard to private land)

Established industries	Freight and logistics, retail trade, Manufacturing
Industries / sectors to target	New energy (focus on hydrogen), advanced manufacturers, circular economy, new format e-commerce logistics, logistics technology
Movement network	<p>Prioritise rail freight movements</p> <p>Deliver Kororoit Creek Shared Trail</p> <p>New commuter rail and station</p> <p>New frequent bus services</p> <p>Construct Blomberg Road to allow properties fronting Chamber Road to use it for access where appropriate</p>
Priority streets for improvements	Grieve Parade, Chambers Road, Kororoit Creek Road (advocate as managed by State Government)
Further strategic work	<p>Planning Scheme Amendment to implement new land use planning framework</p> <p>Advocate to State Government to apply a Buffer Area Overlay to MHFs</p>
Industrial design and built form	<p>Improve amenity, design and environmental performance of Altona North's industrial areas</p> <p>Ensure new development has appropriate setbacks and interfaces to waterway corridors and is sensitive to areas of environmental significance (inc. native grassland)</p> <p>Enhance greening and canopy cover within streetscapes</p> <p>Improve accessibility throughout the precinct and connections to the Principal Bicycle Network and Kororoit Creek Trail</p>

Williamstown North Industrial Precinct

Current Focus

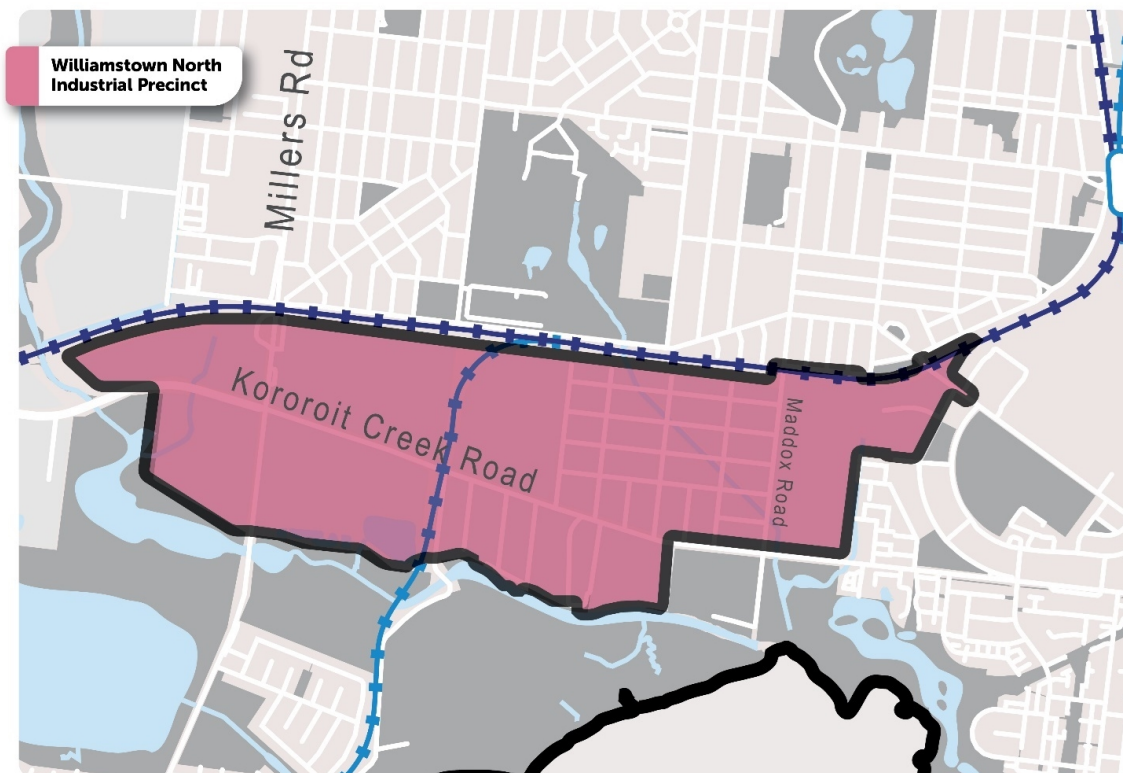
- large landholdings associated with historic Exxon Mobil refinery operations, which changed operations (ceased refining) in 2021 resulting in significant job losses
- smaller industrial lots that support a large and growing number of construction industries and a significant but declining proportion of manufacturing businesses as well as non-industrial uses (such as gyms)

- intensification of residential and retail development further to the north at Millers Road and further east at Kororoit Creek Road
- abuttal with significant environmental assets such as Kororoit Creek and native grasslands as well as Cherry Lake and Altona Coastal Park / Port Phillip Bay

PRECINCT OVERVIEW

Issues	Opportunities
restrictive planning controls	access to skilled workers
poor amenity	large vacant landholdings
poor public transport access for workers	proximity to environmental assets and key activity areas
poor interface with grassland areas and coastal wetlands	established industry buffers
land contamination and rehabilitation costs	access to freight network

PRECINCT MAP



PRECINCT SUMMARY AND RECOMMENDATIONS






Precinct summary

Land area	238.8ha
Total jobs in 2021	2515 (6.9% of LGA)

Largest employers 2021	Construction, Manufacturing, Other services (e.g., personal services, automotive repair, computer system design and related services)
Total businesses in 2021	494 (4.6% of LGA)
Transitioning land area* <i>*known development potential/industry change that does not fit underutilised land area category</i>	89.5ha
Current zones	Industrial 1 Zone, Industrial 3 Zone, Special Use Zone 2 (Petroleum Refinery Area)
Current overlays	Environmental Significance Overlay Design and Development Overlay (DDO4 – Foreshore Height Limitation) Heritage Overlay Land Subject to Inundation Overlay Special Building Overlay Public Acquisition Overlay
MICLUP designation	State Significant Industrial Land
Major Hazard Facility	Exxon Mobil
Environmental assets	Jawbone Flora and Fauna Reserve, JT Gray Reserve, Kororoit Creek, Quarry Reserve, Grasslands, Paisley Challis Wetlands, Altona Coastal Park, Cherry Lake and coastal wetlands (migratory birds)

Precinct Directions

Future Focus

-  renewal and rehabilitation of Exxon Mobil landholdings to benefit the local economy and local jobs
-  support for new energy industries that can be appropriately buffered from community and respond to a change in the petrochemical sector
-  state investment in commuter rail line and train station to service the industrial precinct, Millers Junction and the broader residential community
-  improved industrial interface with Kororoit Creek, native grasslands and Jawbone Flora and Fauna Reserve to protect native flora and fauna
-  support for a cluster of digital industries as well as light industrial uses and businesses that service the local community

Strategic land use category	Core Industry, Secondary industry
Future zoning options	Investigate options to update SUZ2 due to refinery operation ceasing in 2021

Established industries	Construction, Manufacturing (petroleum manufacturing), Digital Industries (computer system design and related services)
Industries / sectors to target	Digital industries (professional, scientific and technical services), new energy, advanced construction or circular economy manufacturing, other service industries
Movement network	<p>State investment in commuter station</p> <p>Upgraded bus network (frequency, route and stops)</p> <p>Upgrade to Kororoit Creek Road and Millers Road intersection to improve safety for cyclist and pedestrians</p> <p>Where possible, ensure development has a frontage / accessway to Federation Trail to enable modal shift</p>
Priority streets for improvements	Kororoit Creek Road (advocacy as managed by State Government)
Further strategic work	<p>Precinct planning – Exxon Mobil site</p> <p>Planning Scheme Amendment to implement new land use planning framework</p> <p>Advocate to State Government to apply a Buffer Area Overlay to MHFs</p>
Industrial design and built form	<p>Improve amenity, design and environmental performance of Williamstown North’s industrial areas</p> <p>Ensure new development has appropriate setbacks and interfaces to wetlands and waterway corridors and is sensitive to areas of environmental significance (inc. native grassland)</p> <p>Enhance greening and canopy cover within streetscapes</p> <p>Improve accessibility throughout the precinct and connections to Millers Junction and the Principal Bicycle Network</p>

Williamstown Maritime Industrial Precinct

Current focus:

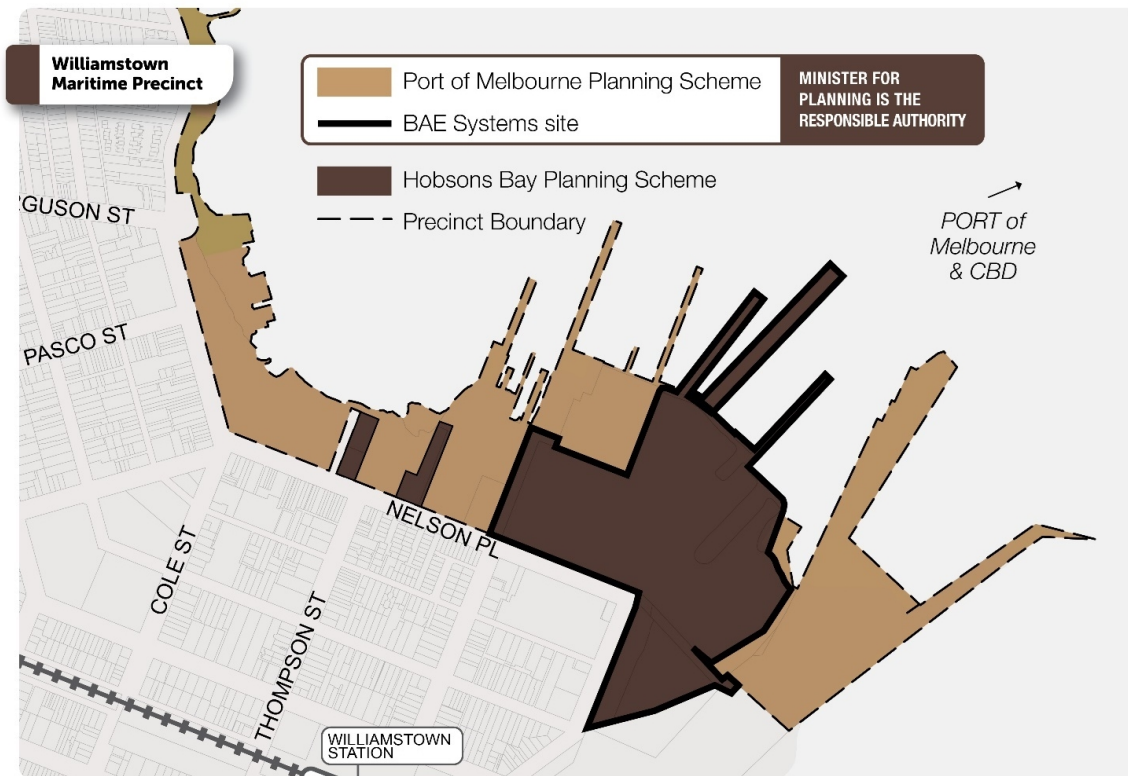
- precinct associated with operation of the Port of Melbourne and ship building, marine engineering and marine related industries and activities since 1830s

- key tourism destination that also supports key commercial and recreational activities, employment, and the local economy and abuts residential community
- key location for state crude oil imports at Gellibrand Pier which has historically been piped to the Refinery at Altona to produce refined petroleum products
- Minister for Planning is the responsible authority for all industrial land in this precinct and majority of the precinct is within the Port of Melbourne Planning Scheme

PRECINCT OVERVIEW

Issues	Opportunities
Restriction on sensitive land uses near MHF Offsite amenity impacts (noise, dust etc.)	Proximity to established residential community and transport Established tourist and cultural destination with recreational assets
Land contamination and rehabilitation costs (BAE site)	Underutilised land (BAE site)
Majority of industrial land not within Hobsons Bay Planning Scheme	State significant marine engineering and industry sector and infrastructure
Significant number of agencies and stakeholders involved in precinct	Environmental assets

PRECINCT MAP







PRECINCT SUMMARY AND RECOMMENDATIONS

Precinct summary

Land area (within Hobsons Bay Planning Scheme – Minister for Planning is the responsible authority)	11.6ha (SUZ5)
<i>Note: some commercially zoned land is within this precinct</i>	
Land area (within Port of Melbourne Planning Scheme – Minister for Planning is the responsible authority)	32.2ha
Subject to Williamstown Maritime Framework Plan	32.2ha
Largest employers	Shipbuilding and repair services
Current zones in HBPS	Special Use Zone 5 (Marine Engineering Area)
Current overlays	Design and Development Overlay (DDO8) Heritage Overlay
MICLUP Designation	Regionally significant industrial land
Major Hazard Facilities	Mobil Gellibrand
Environmental assets	Port Philip Bay

Precinct Directions

Future focus:

-  enhanced tourism destination with improved access to state significant maritime cultural and historical sites and more cultural and visitor offerings
-  continued support for maritime and Port operations where these do not negatively impact the safety and / or amenity of residents and visitors and adopt best practice and sustainable operations
-  improved public realm and pedestrian and cycle access through the foreshore and connectivity through key maritime sites with enhanced greening and tree planting
-  urban renewal of BAE site to create new commercial floorspace or a new government precinct (GovHub) that will bring economic activity and local employment opportunities

Strategic land category	Core industry, Core employment, Secondary industry
Future zoning options	Refer to State Government Williamstown Maritime Precinct Framework (WMPF)
Established industries	Tourism, marine engineering, petrochemical and petroleum, port operations, logistics

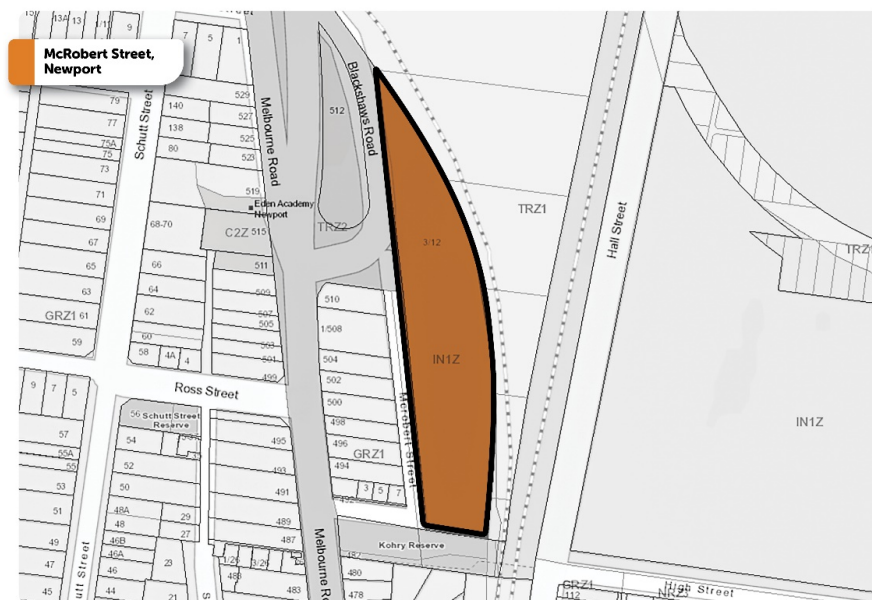
Industries / sectors to target	Recreation and tourism sector, with potential for government sector to establish if the BAE site is identified for urban renewal
Movement network	Limit any truck movement in activity centre Improve pedestrian and cycle connections to Port Philip Bay
Priority streets for improvements	Ann Street Nelson Place
Further strategic work	Review of DDO8 Continue to be involved in implementation of the WMPF Advocate to State Government to apply a Buffer Area Overlay to MHFs
Industrial Design Guidelines	Improve amenity, design and environmental performance of Williamstown Maritime industrial areas Enhance greening and canopy cover within streetscapes Ensure industrial heritage places and tourism destinations are safeguarded Improve accessibility throughout the precinct and connections to Principal Bicycle Networks

Other local industrial land

SUMMARY AND RECOMMENDATIONS

Location

McRobert Street, Newport



Land area	~0.976ha
Current zones	Industrial 1 Zone
Current overlays	Heritage Overlay
MICLUP designation	Local Industrial Land
Major Hazard Facilities	N/A
Significant environmental assets	Kohry Reserve
Precinct Directions	
Strategic land use categories	Secondary industry
Zoning options	Retain Industrial Zone 1
Established industries	Self-storage units
Further strategic work	None - Remain IN1Z and no longer SRA
Industrial design and built form	Future development to respond to updated design guidelines as required

Location

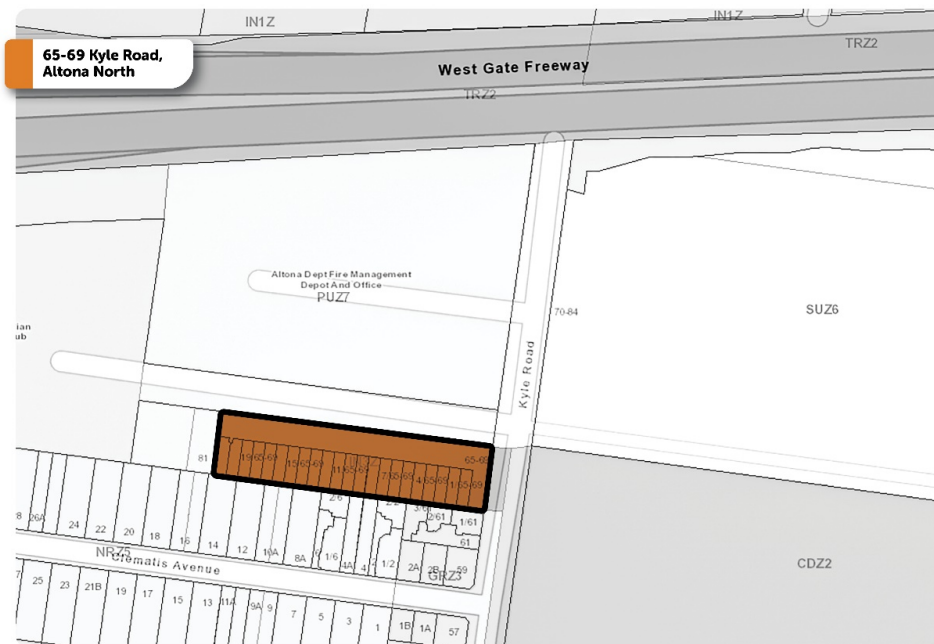
561-569 Melbourne Road, South Kingsville Spotswood



Land area	~6.6ha
Current zones	Industrial 1 Zone
Current overlays	N/A
MICLUP designation	Local Industrial Land
Major Hazard Facilities	N/A
Significant environmental assets	N/A
Precinct Directions	
Strategic land use categories	Secondary industry
Zoning options	Retain Industrial Zone 1
Established industries	Spotswood Maintenance Centre (locomotive)
Further strategic work	None - Remain IN1Z
Industrial design and built form	Future development to respond to updated design guidelines as required

Location

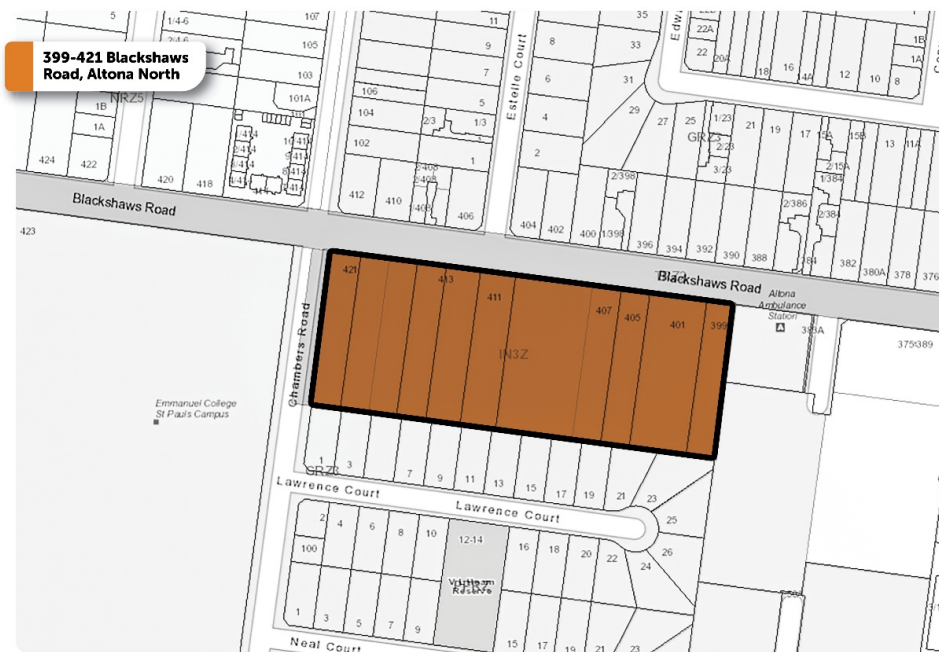
65-69 Kyle Road, Altona North



Land area	~0.488ha
Current zones	Industrial 3 Zone
Current overlays	N/A
MICLUP designation	Local Industrial Land
Major Hazard Facilities	N/A
Significant environmental assets	N/A
Precinct Directions	
Strategic land use categories	Secondary industry
Zoning options	Retain Industrial Zone 3
Established industries	Self-storage units
Further strategic work	None – Remain IN3Z
Industrial design and built form	Future development to respond to updated design guidelines as required

Location

399-421 Blackshaws Road, Altona North



Land area	~1.78ha
Current zones	Industrial 3 Zone
Current overlays	N/A
MICLUP designation	Local Industrial Land
Major Hazard Facilities	N/A
Significant environmental assets	N/A
Precinct Directions	
Strategic land use categories	Core employment
Zoning options	Investigate potential rezoning to a commercial zone from IN3Z
Established industries	Mix of businesses (mechanics, gym etc.)
Further strategic work	Investigate potential rezoning to a commercial zone from IN3Z.
Industrial design and built form	Future development to respond to updated design guidelines as required (unless rezoned to a non-industrial zone)

8. Implementation

The below table details how overarching objectives will be actioned through the strategy.

OBJECTIVE		
1. Increase local jobs and employment and diversify industry sectors		
1.1 Attract high employing industries to increase local jobs and employment		
1.2 Attract industries and businesses that support our changing resident workforce		
1.3 Attract a diversity of businesses and industries to support a resilient economy		
ACTION	OWNER	PRIORITY
Update planning controls in Hobsons Bay Planning Scheme to allow more flexibility in land uses that align with the future focus for each precinct	HBCC/DTP	High
Review Economic Development Strategy 2015-2020	HBCC	High
Facilitate Industry Network Groups	HBCC/private	Medium
Review and streamline investment attraction and facilitation processes	HBCC/private	Medium
OBJECTIVE		
2. Become an environmental leader and promote more sustainable and green industries		
2.1 Support industries that innovate and adopt new practices that lead to better environmental outcomes		
2.2 Support industrial development that limits impact on our natural environment and enhances areas of environmental significance		
2.3 Support greening, tree canopy cover and streetscape improvements in industrial precincts		
ACTION	OWNER	PRIORITY
Deliver updated Industrial Design Guidelines to provide clear direction on subdivision, built form and sustainability outcomes	HBCC/DTP	High
Implement new planning controls to protect significant native	HBCC	High

grasslands within industrial areas such as an Environmental Significance Overlay (ESO)		
Advocate for State Government to complete a review of current sustainability and urban design planning controls	HBCC	High
Create checklists and factsheets for ease of interpretation (for applicants and assessment by Statutory Planners)	HBCC	Medium
Investigate incentive options for applicants to deliver environmentally sustainable outcomes	HBCC/private	Medium
Work with industries to create a circular economy of recycled materials and connect developers with local manufacturers	HBCC/private	Medium
Identify streets for greening and streetscape improvements (implementation of Council's Urban Forest Strategy)	HBCC	Medium
Collaborate with EPA and industry to create awareness around pollution prevention to waterways	HBCC	Medium
Ensure EPA and WSV are working with industries and neighbouring Councils to prevent and manage risks associated with industrial activity such as industrial fires that impact the community	EPA/WSV/HBCC	High
Continue to work with EPA and adjoining municipalities to monitor and address air quality	HBCC/EPA/other Councils	High

issues associated with industrial areas (including in neighbouring LGAs)		
OBJECTIVE		
3. Balance economic growth with community impacts		
3.1 Ensure new industries with potential adverse amenity impacts are located away from existing residential areas		
3.2 Encourage industries to adopt practices that reduce off-site amenity impacts		
3.3 Support industrial development that enhances the streetscape and heritage fabric		
ACTION	OWNER	PRIORITY
Implement a new industrial land use planning framework that ensures new industry with significant off-site amenity impacts is located away from residential areas	HBCC/DTP	High
Work with WSV/EPA to ensure that industries are meeting their obligations to minimise off-site impacts from industrial operations	WSV/EPA/HBCC	Medium
Promote good public realm outcomes through private and public investment and implementation of the Industrial Design Guidelines (including translation into the planning scheme)	HBCC/private	High
Continue to work across neighbouring LGA boundaries to ensure good industrial outcomes for the broader community	Hobsons Bay / Brimbank / Maribyrnong / Wyndham / Melbourne City Council	Medium
OBJECTIVE		
4. Continue to attract investment to support a resilient and prosperous local economy		
4.1 Capitalise on the broader changing economy		
4.2 Attract new businesses, gain state investment and retain large businesses		

4.3 Create high amenity industrial areas with improved public realm and access to amenities and open space to attract new industries and skilled workers		
ACTION	OWNER	PRIORITY
Promote investment through the new Economic Development Strategy and the Reimagining our Industrial Areas – A Statement of Opportunity	HBCC	Medium
Continue to work with existing industry operators and businesses on change and expansion opportunities and develop collaboration and networks between complementary industries	HBCC	Medium
Work with neighbouring municipalities to encourage high amenity industrial areas, promote co-location and circular economy objectives and respond to changing broader economy	Hobsons Bay / Brimbank / Maribyrnong / Wyndham / Melbourne City Council's	Medium

Implications for the Planning Scheme

Section 7 (Precinct Directions) proposes various options to update the planning scheme to reflect the new industrial land use framework. Planning Scheme Amendments (including rezoning, application of overlays and any other relevant changes to controls) will be prepared and delivered over several years.

Future strategic work

The below table summarises future strategic work that may impact industrial precincts.

TASK	OWNER	PRIORITY
Planning Scheme Amendment to implement new land use planning framework (including rezoning, application of overlays and any other relevant changes to controls)	HBCC	High
Advocate for engagement with the community and	HBCC	High

industry on new WorkSafe Victoria 'land use planning near MHFs' guidance		
Apply a Buffer Area Overlay to MHFs	Victoria Government (lead) HBCC (stakeholder/advocacy)	Medium
Review of DDO8 (Williamstown Maritime)	HBCC	Low
Finalise and implement the draft Spotswood Activity Centre Structure Plan	HBCC	High

Monitoring and Review

Review every 5 years following implementation via a planning scheme amendment.

9. Glossary

Terminology and abbreviations used in the strategy are defined below.

Industrial Land Management Strategy	Is referred to as 'the strategy' throughout this document.
Industrial Design Guidelines	Draft guidelines for subdivision, built form and sustainable outcomes in industrial precincts. Referred to as "design guidelines' throughout this document.
Zone	A zone governs the use that can occur on a parcel of land, such as a residential, industrial or commercial use. Each zone has a purpose and a schedule that identifies if a planning permit is required and identifies matters that must be considered before deciding to grant a permit.
Industrial land	Land zoned to enable industrial uses and activity. For the purposes of this strategy, it includes Industry 3 Zone, Industry 1 Zone and a number of Special Use Zones (SUZ 2, 3, 4 and 5).
Industrial precinct	Boundary used to describe a collection of industrial land parcels.
Major Hazard Facility	A site that typically stores, handles or processes large quantities of dangerous goods (for example petrochemicals or petroleum) and that is licenced as a Major Hazard Facility by WorkSafe Victoria.
Knowledge-based economy	An economy that is increasingly dependent on and driven by activities and industries such as professional services that trade in knowledge and information and rely on a highly specialised workforce such as research and development,

	design, engineering, marketing creative and other similar industries.
Light industrial uses	Industrial uses that are compatible with nearby community uses and do not affect the safety and amenity of adjacent more sensitive land uses.
Underutilised industrial area	Industrial sites which are either vacant or have a low site coverage (coverage of buildings on each site).

10. Further information

For further information concerning this policy please contact the Strategic Planning team on 1300 179 944 and/or strategicplanning@hobsonsabay.vic.gov.au.

11. Version history

Version Number	Date	Drafted by
1	28.04.2023	Strategic Planning

12. Appendix

Reimagining our Industrial Areas - A Statement of Opportunity

To access the statement please use this website [link](#).



Industrial Design Guidelines

2023-2038

Acknowledgment of Country

Council acknowledges the Bunurong People of the Kulin Nation as the Traditional Owners of these municipal lands and waterways, and pay our respects to Elders past, present and emerging.

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1. Introduction

1.1. Overview

The Industrial Design Guidelines 2023-2038 (the guidelines) have been prepared to guide the design and development of industrial land within the City of Hobsons Bay. The purpose of the guidelines is to deliver attractive and sustainable industrial development that supports the objectives of the Industrial Land Management Strategy 2023-38.

The guidelines are intended to assist applicants and Council officers in preparing and assessing planning permit applications for industrial development and subdivisions. The guidelines are intended to be used by a variety of stakeholders that have an interest in industrial development in Hobsons Bay.

The guidelines should be read in conjunction with the Hobsons Bay Industrial Land Management Strategy 2023-38, the Landscape Design Guidelines (2021) and the Hobsons Bay Planning Scheme (the scheme).

The preparation of the guidelines has been informed by various resources including local and state policies and strategies. To view the full list, see Appendix 1.

1.2. Purpose

The purposes of the guidelines are:

- to ensure development in Hobsons Bay's industrial precincts supports the objectives of Council's Industrial Land Management Strategy (2023-2038)
- to improve the amenity, design, safety, accessibility and environmental performance of industrial areas
- to enhance the liveability, amenity, and safety of industrial land for workers, visitors, and the local community
- to encourage a high-quality design that respects the character of industrial precincts and provides an appropriate interface to residential areas and areas of environmental significance
- to ensure that the design and siting of development within industrial areas makes provision to protect residents of adjoining or nearby land from noise, odour or dust emanating from industrial properties
- to encourage the application of environmentally sustainable design principles and reduce the impacts of climate change and the urban heat island effect
- to support industrial development that implements energy efficient design
- to promote the creation of an urban forest in industrial areas by encouraging quality landscaping design and increased tree-canopy cover in accordance with Council's Urban Forest Strategy 2020
- to ensure places of significant vegetation and places or objects of local and Aboriginal heritage significance, are appropriately considered and addressed within industrial areas

1.3. How to use the guidelines

The guidelines will be utilised during the planning permit application process to encourage the highest level of design quality, amenity, safety, accessibility and environmental performance in industrial areas.

The guidelines apply to applications for industrial land use, development and subdivision which require a planning permit in industrial precincts in the City of Hobsons Bay, including land in the following zones:

- Industrial 1 Zone (INZ1)
- Industrial 3 Zone (INZ3)
- Schedules 2, 3 and 4 of the Special Use Zone (SUZ)

Each subsection of the guidelines contains **design objectives** followed by applicable **design guidance** and indicative diagrams. These guidelines are segmented into sections (2 – 5), each dealing with different aspects of subdivision or development. Section 6 provides for more specific use requirements. All sections relevant to a proposal (subdivision and/or development) should be considered.

Designers, planners, and developers are urged to become familiar with the guidelines and to apply them throughout the design process.

1.4. Assessing permit applications against the guidelines

In preparing a planning permit application, applicants should ensure that the use or development of industrial land meets the guidelines as well as the policies and provisions of the scheme. The guidelines have been prepared to supplement existing policy in the scheme by providing practical and instructive design guidance.

Council will use its discretion to apply the guidelines to development and land use applications where appropriate. Some developments or locations may have site specific needs which require alternative design solutions. Council will accept alternative solutions if it can be demonstrated that the proposed development still meets the overall purpose and objectives of the guidelines.

As technology, innovation and implementation methods evolve, applicants are encouraged to explore alternative solutions that can better respond to existing site conditions or lead to improved outcomes.

2. Site planning

In the early stages of planning for new industrial development, it is important to consider how the design will enhance the sites functionality, amenity and the environment.

2.1. Subdivision design

Design objectives

- to ensure that subdivision layouts allow for sustainable outcomes and contribute to the visual amenity and character of the area
- to create a variety of lot sizes to accommodate intended uses, ensure access, allow opportunities for landscaping and appropriate built form responses
- to ensure subdivision layout supports greater permeability for walking and cycling
- to promote passive solar design through orientation of streets and lots
- to protect significant vegetation and retain native grassland areas, preferably connecting corridors of vegetation (particularly along waterways) whilst considering critically endangered species
- to ensure places of local heritage significance and Aboriginal cultural heritage sensitivity are identified and appropriately considered and addressed
- to protect and enhance waterway systems including river and riparian corridors, waterways, lakes, wetlands and billabongs
- subdivision layouts should be designed to accommodate an appropriate street network as detailed in Section 3.4

Design guidance

- subdivision layouts should demonstrate an appropriate response to:
 - existing topography, natural drainage and features of the site
 - existing and future transport movement networks including roads, cycling and pedestrian routes. Consideration should be given to breaking up larger lots for transport permeability where such opportunities may arise
 - streetscape amenity including canopy trees, footpath and kerb treatments and street lighting
 - development constraints (i.e., land subject to inundation)
 - any adjacent environmental, heritage, commercial and residential areas
 - any setbacks required to adjacent waterway and railway corridors
- subdivision layouts should consider the provision of:
 - outdoor amenities for staff
 - Water Sensitive Urban Design (WSUD) elements to help manage stormwater run-off on site
 - landscaping and tree planting to help mitigate urban heat island effects and improve site amenity
 - landscaping areas to act as a buffer between industrial and residential areas

- footpaths and/or shared paths on both sides of all new, remade, or modified roads along the lot boundary
- subdivision layouts should enable the siting of buildings to maximise solar access and natural cross flow ventilation
- subdivision layouts for sites adjacent to protected native grasslands should be designed to consider any conservation management practices such as prescribed burning and control requirements for noxious weeds. See Section 2.2 of the guidelines for further information
- subdivision layouts of sites adjacent to environmental or residential areas should:
 - consider the risk of off-site impacts such as stormwater runoff, noise pollution and light spill-over and implement the necessary controls
 - consider the interface treatments detailed in Section **Error! Reference source not found.**
 - consider impacts to amenity and connectivity
- subdivision design should consider the building and landscape setbacks detailed in Section 4.2
- subdivision layouts should aim to retain large lots and minimise land fragmentation and poor access
- subdivision layouts should provide an identifiable address and front for each new lot/occupancy created

2.1.1. Retaining native grasslands

- where possible, subdivision layouts should retain areas of native grasslands on site. Applicants should refer to Hobsons Bay Native Vegetation Offset Guidelines (2022) and *Start with the grasslands* guidance (Victorian National Parks Association, 2013) to understand their obligations and maintenance practices if they are to retain native grasslands on site
- to enhance resilience, ecosystem function and habitat connectivity, subdivision layouts for sites with native grasslands should:
 - join patches of native grasslands to existing conservation areas where possible, or
 - create a large grassland 'island' or network by connecting on-site grassland patches with other grassland patches in adjacent lots. See example in figure below of preferred grassland corridor retention

Individual approach to retaining native grasslands



Holistic network approach to retaining native grasslands

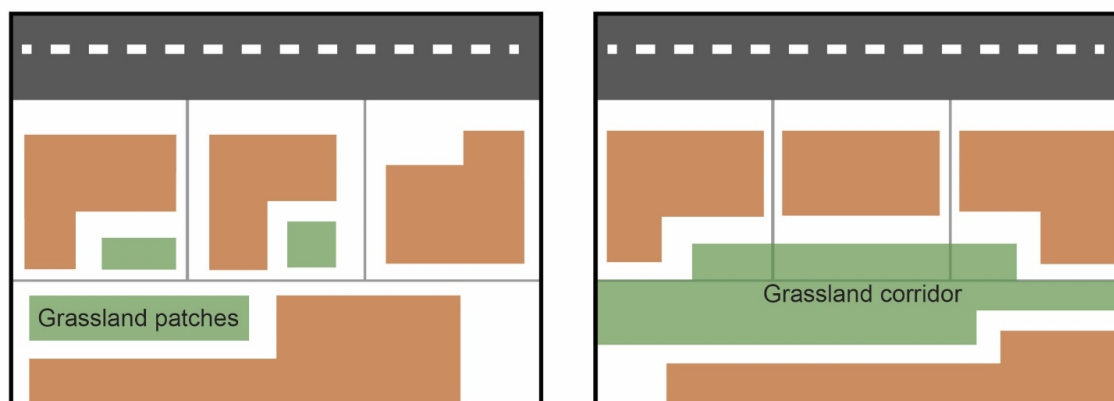


Figure 1 - Approach to retaining native grasslands

2.2. Interface treatments

Where industrial development is proposed to be located adjoining a sensitive use, such as a residential area, it needs to be carefully designed to minimise off-site impacts.

Design objectives

- to ensure industrial sites can operate safely and efficiently while also minimising offsite impacts
- to enhance the interface between industrial land and adjoining sensitive areas such as residential areas or areas of environmental significance
- to ensure new industrial development appropriately responds to the character and amenity of adjoining or surrounding residential areas
- to protect the ecological value and integrity of native grasslands and areas with significant biodiversity values adjacent to industrial sites
- to protect the function of waterways and enhance the biodiversity values within waterway corridors in industrial areas

2.2.1. Residential interface

Design guidance

- the height of industrial buildings and works opposite or adjacent to residential areas should consider the scale of dwellings in relation to the street
- industrial developments should avoid expanses of blank walls or visually impermeable fencing fronting residential areas
- buildings should provide a transition in scale where development has an interface with residential areas
- buildings fronting residential areas should have articulated and visually interesting facades that reflect the scale and materials used in the residential built form

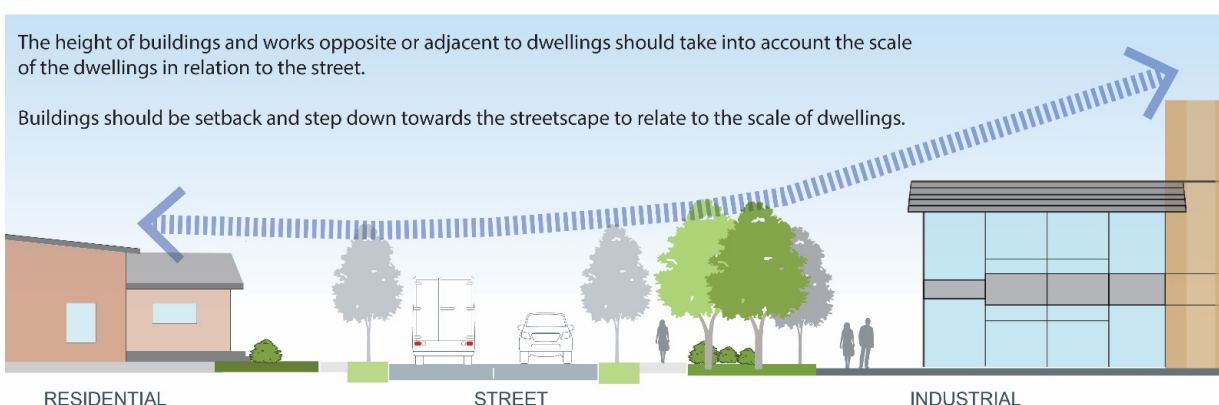


Figure 2 - Scale of industrial buildings in relation to the street

2.2.2. Native grassland and significant biodiversity areas interface

For land abutting native grasslands and areas with significant biodiversity values, it is important that the design considers the protection of native flora and fauna.

Native grasslands require prescribed burning several times a year. Prescribed burnings are required to help maintain biodiversity values, control invasive plant species, and keep grasslands healthy. Landowners adjacent to a native grassland area are encouraged to contact Council to discuss how prescribed burning may affect their business operations.

Regular weed control and maintenance is required to reduce noxious species from spreading into abutting grassland or significant biodiversity areas.

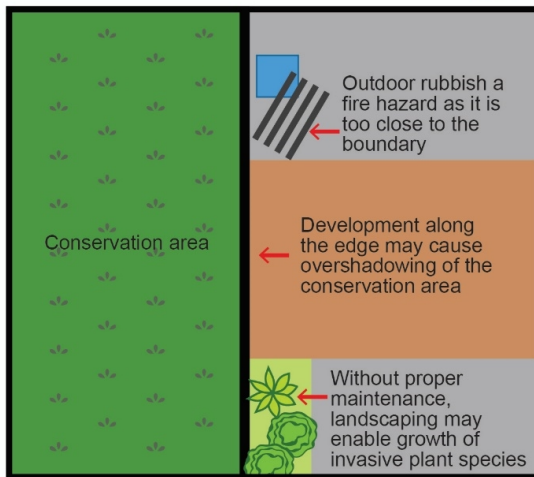
Design guidance

- to prevent the growth of invasive plant species and the risk of fire hazards, the boundary along a native grassland and significant biodiversity area should:
 - have sealed hard paving surfaces¹
 - be free of flammable materials, outdoor storage, rubbish, vehicle loading and parking

¹ It is acknowledged that the schedule to the Special Use Zone 4 specifies a landscape setback to a Public Conservation Zone of 4 metres that contains native grasslands. This requirement is proposed to be reviewed as part of a future planning scheme amendment to introduce the Draft ILMS and Draft IDG.

- be clear of permeable surfaces or landscaping that could create opportunities for the growth and spread of exotic species and weeds

Example of a poor interface with a conservation area



Example of a good interface with a conservation area

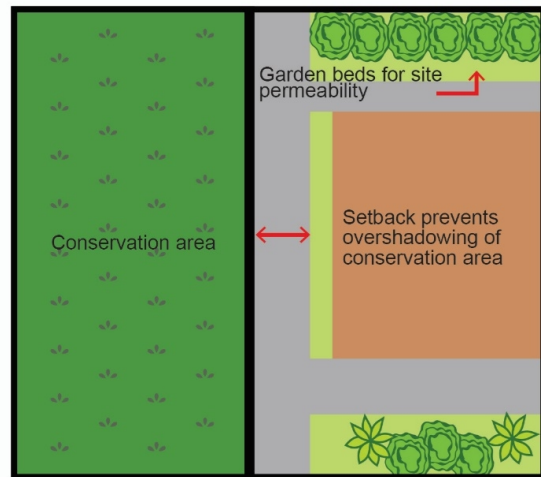


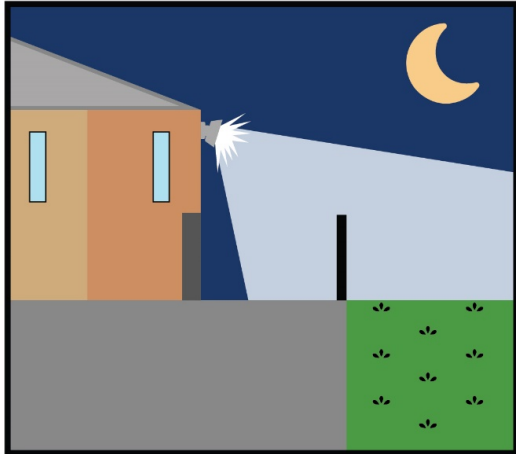
Figure 3 - Appropriate interface with conservation areas

- buildings should be designed to positively address native grassland areas with appropriate setbacks, articulated built form, materials and tones that complement adjoining native grassland areas
- to prevent the loss of rainwater available to native grassland areas, planning permit applications should demonstrate (through hydrology plans or similar) that the proposed development will either protect or preserve the native grassland's existing hydrology

Tip: This can be achieved by considering WSUD techniques such as increased site permeability. See section 5.1 for further information.

- buildings should have appropriate setbacks or building height to prevent the overshadowing of native grasslands at the winter solstice
- fencing constructed along the boundary of a site with native grasslands must not disturb adjacent grassland and be designed to minimise the spread of noxious weeds and exotic species growth
- to protect native grassland habitats from light pollution, developments should incorporate best practice lighting design for all outdoor artificial lighting or internal lighting that is externally visible. Refer to section 4.6 for further information

Warehouse using an overly bright light which spills over onto a conservation area



Warehouse using an appropriate amount of lighting that is directed towards where it is needed

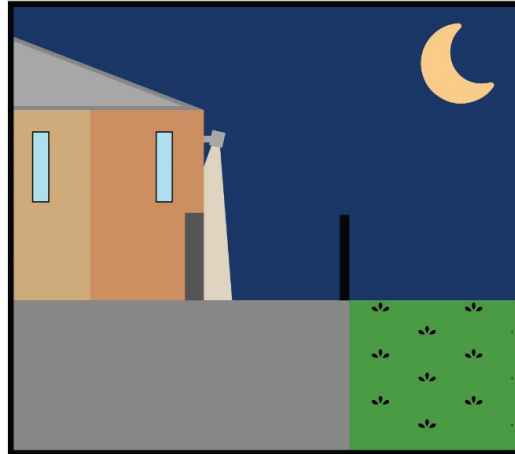


Figure 4 - Appropriate lighting within industrial developments

2.2.3. Waterway interface

For land adjacent to waterway corridors, it is important that site design considers the visual and stormwater runoff impacts of the development, as well as the advice and guidance of Melbourne Water as the relevant waterway management authority.

Design guidance

- to help reduce high levels of stormwater runoff during peak rain events, a 20 metre landscape setback should be provided from the banks of all waterways next to industrial areas in accordance with Melbourne Water's *Waterway Corridors – Guidelines for greenfield development areas*.

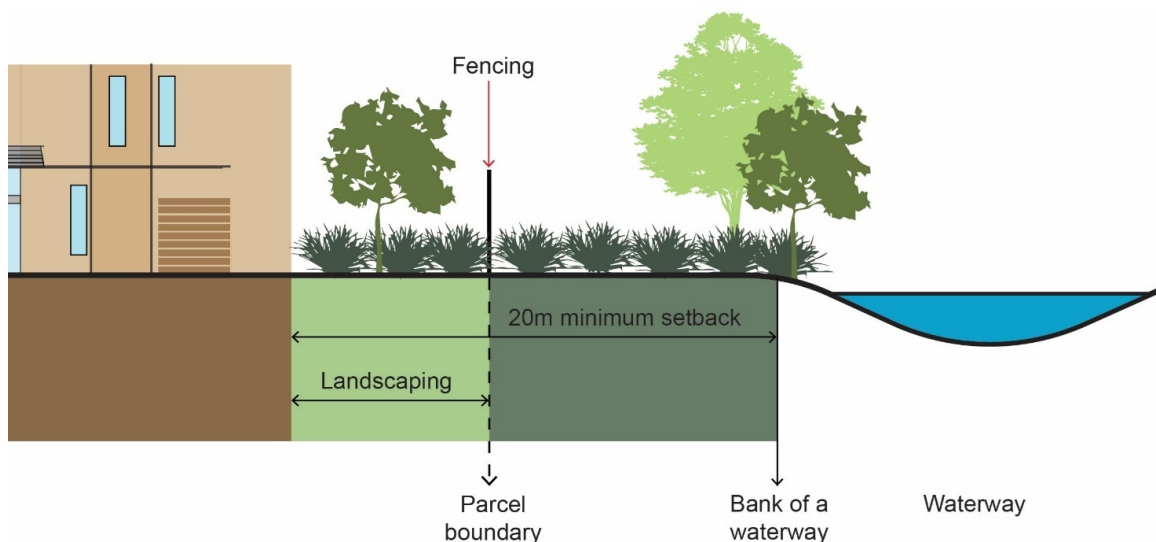


Figure 5 - Landscape setbacks from waterways next to industrial areas

- to protect and improve waterway health and biodiversity values, a 100 metre landscape setback should be provided from the banks of Kororoit Creek
- landscape setbacks along the boundary of a waterway should be well maintained, free from outdoor storage, rubbish, vehicle loading and parking
- landscaping along waterways such as creeks or drains should not use exotic species and known weed species. To protect existing vegetation plants within these spaces should be indigenous species endemic to the area. Refer to **Appendix 2 – Preferred plants along creeks and waterways** for a list of suitable species
- sites should positively address areas along waterways to improve passive surveillance through window glazing and location of outdoor staff amenity areas
- to prevent intrusion into a waterway and protect biodiversity values, sites should have appropriate fencing along the boundary to a waterway that does not restrict community access and does not intrude on view lines from the waterway and helps prevent the spread of noxious weed species

3. Accessibility and movement

Industrial development should be designed to support a range of sustainable travel options for workers and safe and efficient access to and from the site for larger vehicles, without compromising amenity and landscaping outcomes.

3.1. Site access

Design objectives

- to ensure that vehicles can access industrial sites safely and efficiently
- to enable safe pedestrian and active transport movements

Design guidance

- direct pedestrian access should be provided to connect the front entrance of the building office to the street and car park parking area
- pedestrian routes should be clearly delineated and separated from vehicular movement areas where possible

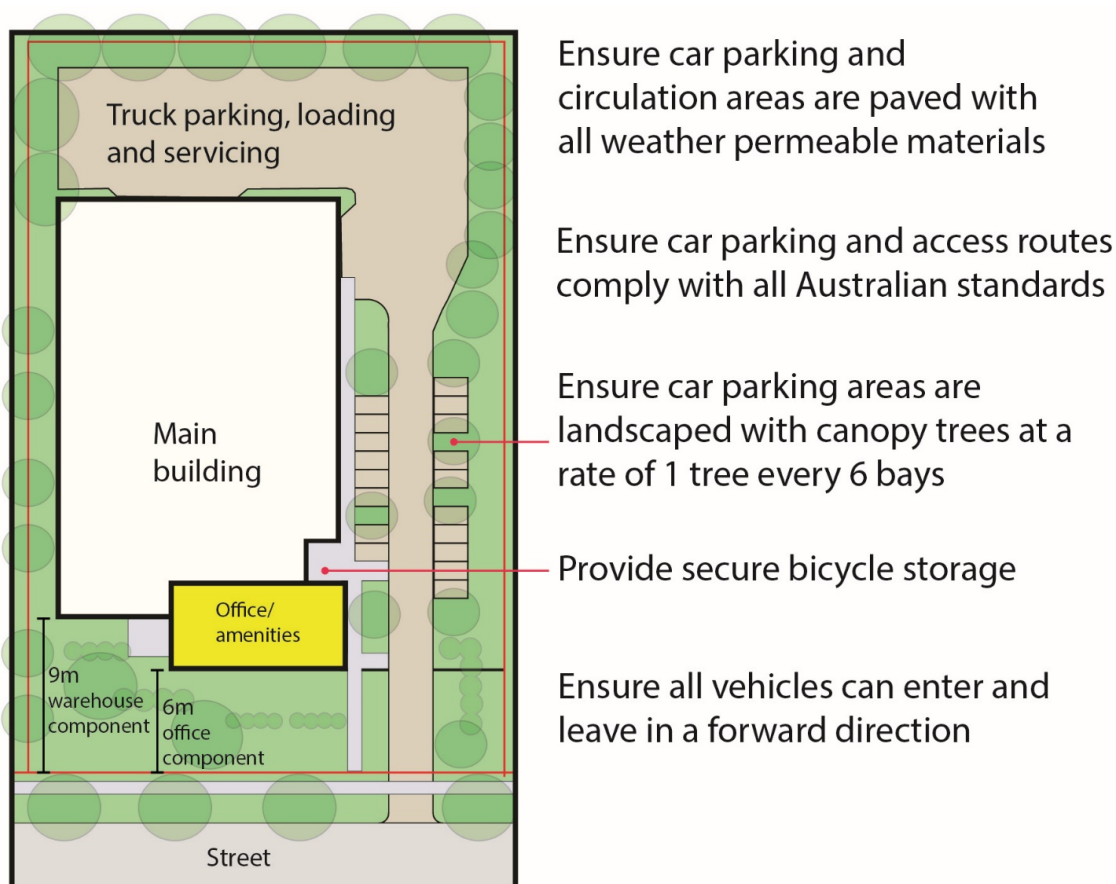


Figure 6 - Accessibility and movement

- ample parking for bicycles, scooter, other active transport modes, and end of trip facilities should be encouraged on all sites
- the development layout should ensure vehicular movements do not conflict with pedestrian and other active transport mode movements

- where practicable, developments should minimise the number of crossovers to accommodate consistent nature strips, retain mature trees, enable uninterrupted pedestrian footpaths and encourage additional tree planting
- where possible, crossovers should be provided to the internal or local access road network and should be avoided on the through road network
- crossover design should reinforce the priority of pedestrians or bicycle riders on the footpath
- the development should be designed to enable vehicles, of all sizes proposed to use the site, to exit in a forward direction. For the purposes of assessing the viability of trafficable areas, plans should include swept path analysis demonstrating entry and exit from the site
- sites larger than 1.0 hectare (10,000 square metres) should be designed so that all vehicles can enter and leave the site in a forward direction
- for sites with an area greater than 0.4 hectare (4000 square metres), provision should be made for articulated vehicles to enter and leave the site in a forward direction
- vehicle crossovers, including splay widths should be designed to suit the needs of the site, in line with Council guidance
- all driveways, accessways, car parking, loading bays and outdoor storage areas should be fully sealed and constructed to minimise the offsite impacts of dust. This ensures the improvement of air quality within and surrounding the site and industrial area

3.2. Car parking

Design objectives

- to ensure the siting of parking areas and access ways is safe and convenient
- to promote an active street frontage by ensuring the layout of parking areas are visually attractive
- to improve landscaped character and contribute to the urban forest by including tree canopy planting between car parking spaces

Design guidance

- visitor parking should generally be within the front of the site or situated close to the entry area of the development
- car parking areas for staff should be located at the side or rear and have appropriate lighting
- basement parking structures may be permitted if:
 - the development has an adequate setback
 - the parking structure can provide visual interest through architectural elements and softening by landscaping
- car parking areas should be landscaped in accordance with section 4.3

- car parking areas should be landscaped with canopy trees at a rate of 1 tree per 6 bays (refer Figure 6)
- the design of the car parking area should be divided into smaller areas with aggregated areas for landscaping and tree planting to avoid large areas of hard surface
- allow for permeable car parking surfaces and accessways where possible in lesser trafficked areas to reduce stormwater runoff
- the design of car parking areas should provide electric vehicle (EV) charging infrastructure, or the necessary space and infrastructure requirements to support the installation of EV charging infrastructure

Tip: Associated requirements to support an EV charging infrastructure includes but are not limited to the appropriate electrical capacity, pre-cabling, waste receptacles, distribution boards, power use metering systems, conduit installation and space for signage.

- the windows of the building should be designed to face car parking areas to provide for passive visual surveillance
- off-street parking and access arrangements should be in accordance with Clause 52.06 (*Car parking*) of the *Hobsons Bay Planning Scheme* and *Australian Standard AS 2890.2:2018 - Off-street commercial vehicle facilities*
- the visual impact of parking areas should be managed through the following:
 - appropriate landscaping setbacks and tree planting throughout
 - where appropriate provide opportunities for the shading of vehicles
 - large developments should locate staff parking to the side or rear of the building
 - landscape screening should be used if alternative designs are not practicable (i.e., reusing an existing car parking area)

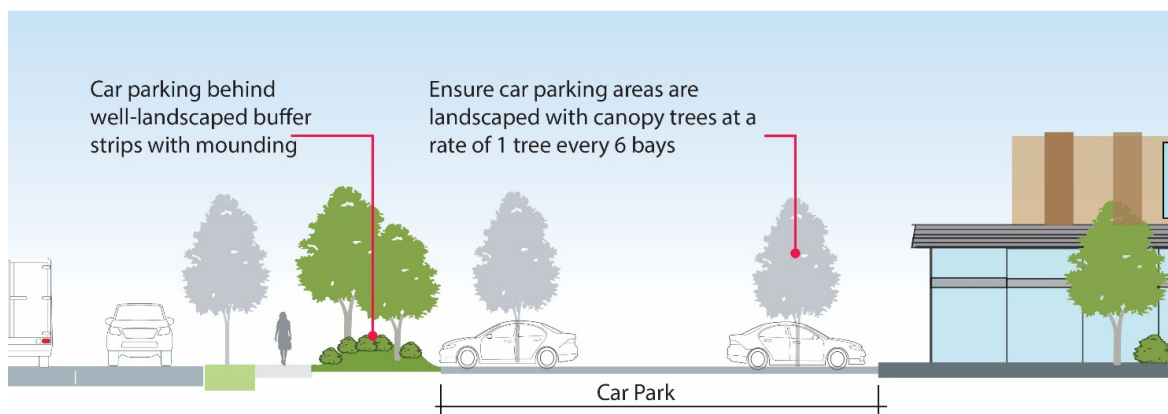
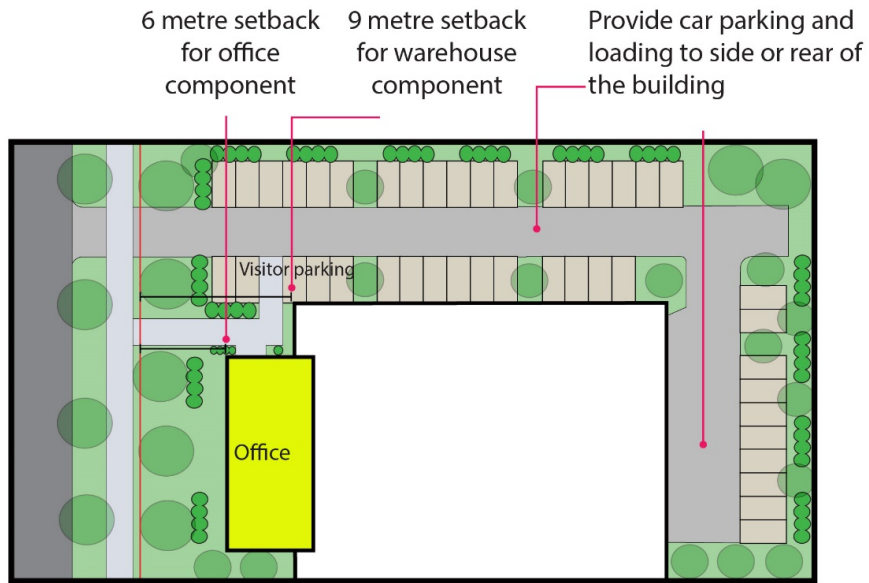
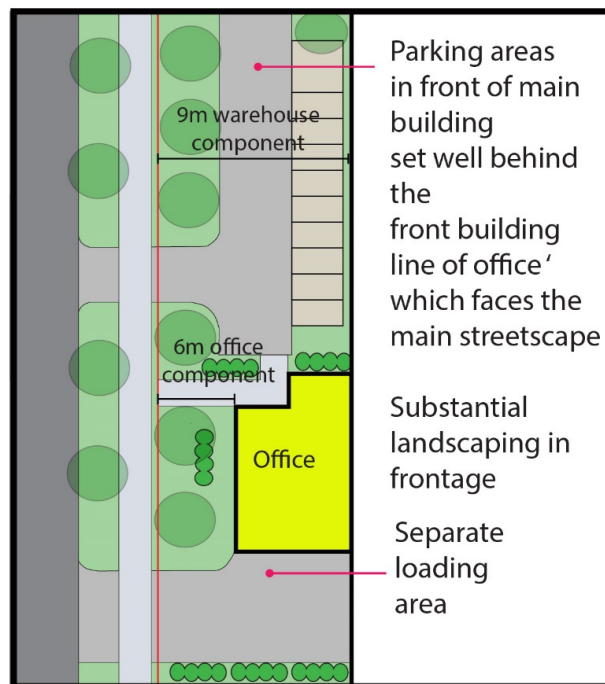


Figure 7 - Mitigating the visual impact of parking areas



Typical development siting for sites with large car parking requirements

Figure 8 - Layout of sites with large car parking requirements



Sites with wide frontages (greater than 30 m in width) where a larger building footprint is required

Figure 9 - Layout of sites with large building footprints

3.3. Loading and service areas

Design objectives

- to ensure the layout of loading areas are safe, convenient, and visually attractive and/or screened from public view

Design guidance

- loading and service areas should be located to the side and rear of the property away from the street frontage
- where sites are located near residential areas, loading and service areas should not be located along the boundaries adjoining residences
- loading bays that are visible from the public realm should be screened with landscaping or articulated built form
- all loading and servicing of vehicles should occur on-site

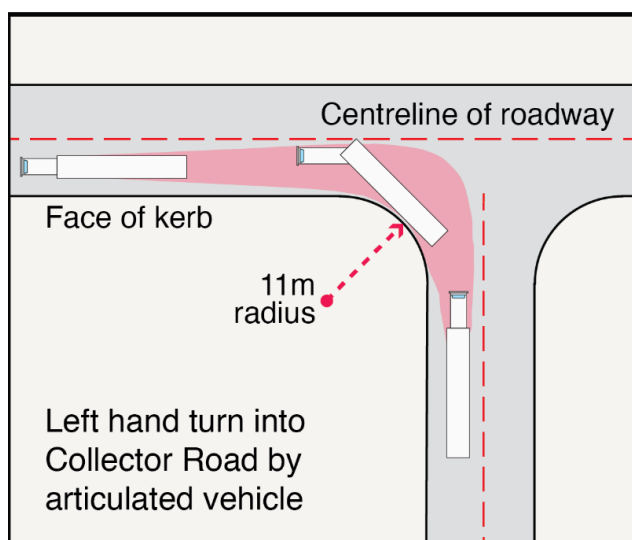


Figure 10 - Left hand turns into Collector Roads by articulated vehicles

- at sites of 0.1 hectare (1000 square metres) or less, loading areas may share access driveways with car parking areas provided that the visitor car spaces are not disrupted and remain accessible
- loading areas should not be sited so that vehicles must reverse onto roads
- loading areas should be separated from pedestrian access paths
- all loading bays and the access to and from the loading bays should be constructed of concrete

3.4. Street network

Design objectives

- to ensure that access arrangements to industrial sites can accommodate large vehicles
- to ensure that access to the site is safe and does not cause detriment to residential areas or other users

Design guidance

- industrial uses that rely on heavy vehicle access should avoid using residential streets
- new industrial collector roads should have a carriageway width of 12.5 metres. The verge width should be 4.0 metres and should include footpaths and street tree planting.

- intersections of main roads (TRZ2 and TRZ3) with collector roads should be designed to allow articulated vehicles to turn into the collector road without crossing the centreline
- a swept path analysis can demonstrate the left-hand turn into collector roads by articulated vehicles. Intersections should consider a raised apron in the swept path area of larger vehicles to prevent use by smaller vehicles
- where access for B-double trucks is required, a Traffic Engineer's report should be provided demonstrating these vehicles can enter and leave the site safely without unduly disrupting other road users or damaging infrastructure or landscaping
- if the use and development of a site relies on access from an unconstructed road, the use and development is required to construct that road to the appropriate council standard, including the provision of lighting, nature strips, footpaths, street tree planting, crossovers. Alternatively, the use and development should consider other access arrangements

4. Built form

Elements of the built form such as architectural features, placement of windows and entrances come together in a way that influences how people engage with and use a space. Responding to existing features such as open space, waterway corridors or significant vegetation is important in creating an environment with a sense of place and protecting important biodiversity.

4.1. Visual impact

Design objectives

- to encourage well designed buildings that provide visual interest and engagement with the street
- to create attractive buildings and streetscapes with features that define the character of industrial precincts
- to ensure that buildings are 'in scale' with the surrounding development and are complementary to adjacent more sensitive areas
- to encourage building forms, materials and finishes that add visual interest to the urban character
- to enhance interfaces with residential areas, public open space, areas of environmental significance and other sensitive interfaces.
- to ensure development adjacent to waterways adopts high quality materials and respectful design and siting

Design guidance

- larger scale buildings should use two or more materials to avoid a monotonous 'box-like' appearance
- building design should incorporate colours and textures that complement the surrounding development in a contemporary style with modulated and articulated façade treatments to provide visual interest
- building walls visible from the street or public open space should be articulated to provide visual interest
- provide a logical sequence of entry and arrival as part of the site's design to ensure that the main entrance and entry approach can accommodate persons of all mobility levels



Figure 11 - Image of articulated design and mixture of architectural materials

Tip: Articulation of walls can be achieved by variations in setback, use of glazing and a mixture of architectural materials, finishes and colours.

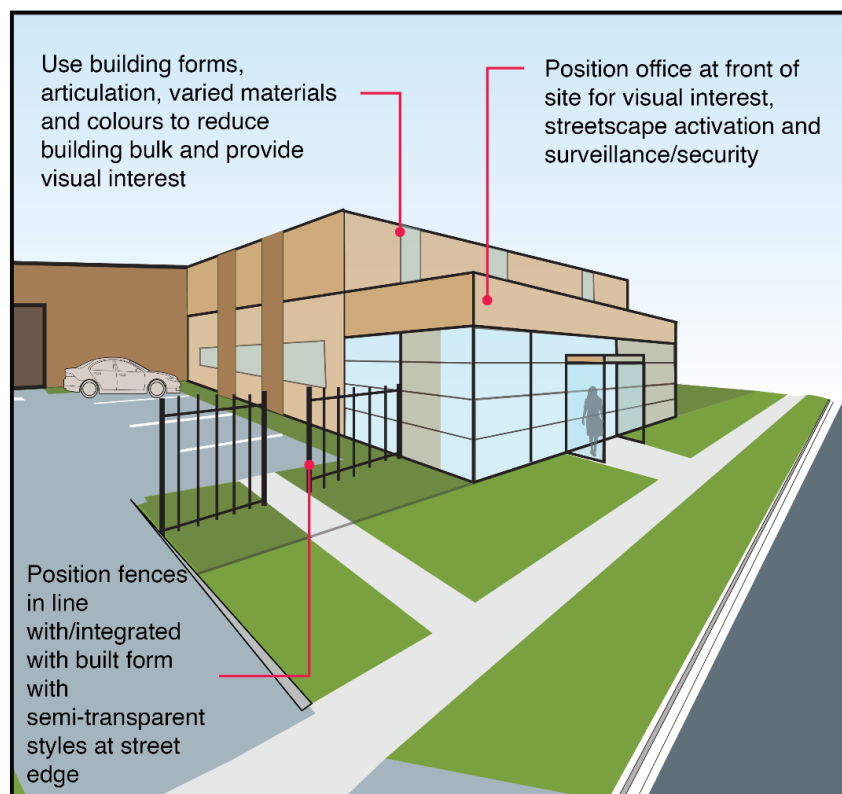


Figure 12 - Articulated design for visual interest and streetscape activation

- long continuous buildings should be broken into smaller, vertical sections through features such as varied setbacks, articulation, diverse materials, or colours
- avoid the use of highly reflective building materials and finishes that direct heat and glare onto nearby buildings

- front building setbacks should be consistent with the setbacks of abutting buildings if it is a similar sized lot
- larger building masses should be appropriately setback from the frontage to minimise dominance on the site and public realm
- exterior surface materials should be used that will reduce the incidence and appearance of graffiti
- offices, staff amenity areas and other active uses are encouraged to be located near to the street frontage to reduce building mass, provide surveillance of the street, and create visual interest

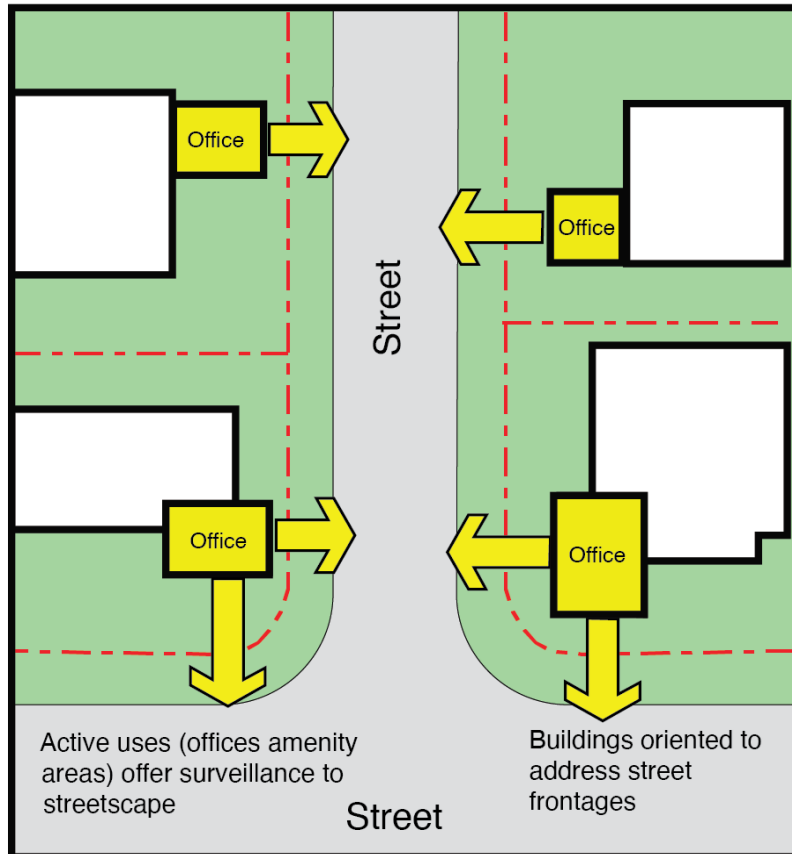


Figure 13 - Building orientation to activate streetscapes

- buildings on corner sites should be designed to address both street frontages through building articulation, active edges, and the siting of windows
- noise and odour-generating functions should be located away from nearby residents or adjacent neighbours wherever possible

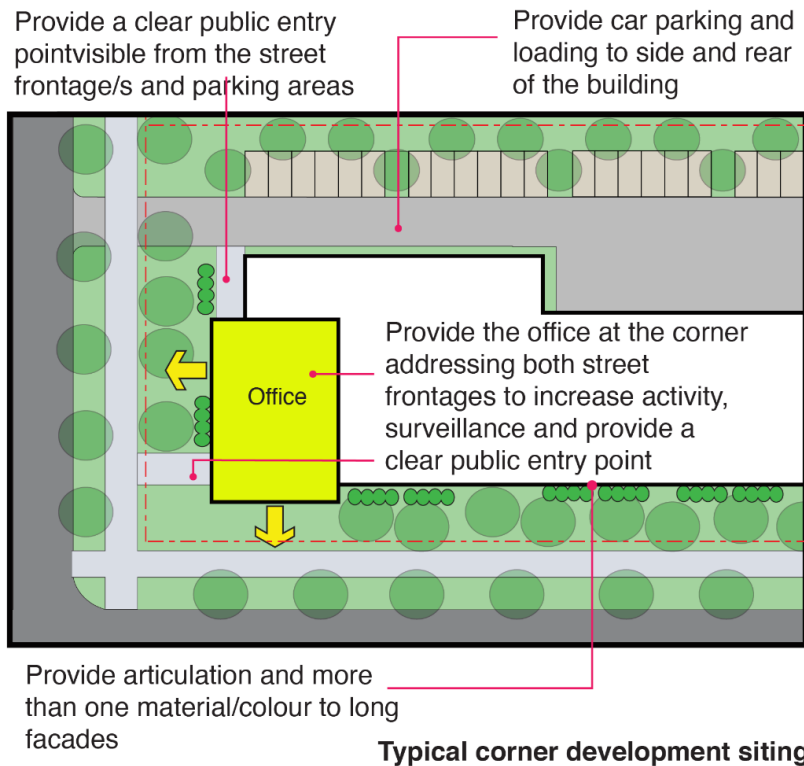


Figure 14 - Typical corner siting elements

4.2. Setbacks

Design objectives

- to achieve preferred building and landscaping setback requirements for industrial land
- to ensure new development responds appropriately to sensitive interfaces such as nature reserves, drainage reserves and easements, public open space, areas of environmental significance, railway lines, creeks and residential areas
- to positively respect the streetscape character and interface with sensitive uses and ensure new development integrates with existing development
- to allow adequate space for meaningful landscape treatments including canopy trees to enhance streetscape amenity
- to ensure adequate clearance for vehicles entering and exiting a site
- to allow visual separation of built form and to distinguish between individual sites

Design guidance

- setbacks of new developments should be consistent with the setbacks detailed in **Table 1 – Landscape and Building Setbacks**²
- landscape setbacks listed in **Table 1** are to be fully landscaped
- setbacks proposed in **Table 1** should apply to all industrial areas in Hobson’s Bay³
- the height and setback of buildings should consider proximity to roads, public open space, waterways, conservation areas and residential areas
- car parking, outdoor storage and service equipment (such as water tanks for fire sprinklers or electrical substations) should not be within landscaped areas

Table 1 – Landscape and Building Setbacks

Setting	Landscape and Building Setbacks
Front setback	<ul style="list-style-type: none"> • provide a 6 metre building setback to an office component and a minimum 9 metre building setback for a warehouse component. Structures over pedestrian entries can protrude into the front setback • provide a minimum 4.5 metre landscape setback at the frontage of the site • provide a minimum 5 metre landscaping setback along a frontage opposite residential uses • landscape setbacks should be exclusively for landscaping and tree planting. Car parking or outdoor storage should not be located within the landscape setback area
Developments along minor roads (predominantly for local access)	<ul style="list-style-type: none"> • industrial developments fronting a minor road should provide a minimum 4.5 metre landscape setback • landscape setbacks should be exclusively for landscaping and tree planting. Car parking or outdoor storage should not be located within the setback area
Corner sites	<ul style="list-style-type: none"> • for industrial developments on corner sites, provide a minimum landscape setback of 4.5 metres to each street frontage unless setbacks are otherwise specified in the Hobsons Bay Planning Scheme

² It is acknowledged that the recommended setbacks may not be appropriate in all development scenarios. Council has the discretion to consider variations to the recommended setbacks where this would still meet the design objectives and the requirements of the planning scheme.

³ It is proposed that the setback requirements in the SUZ4 and SUZ3 will be subject to review as part of a future Planning Scheme Amendment process to implement the Draft ILMS and Draft IDG.

Setting	Landscape and Building Setbacks
	<ul style="list-style-type: none"> Any side wall facing a road should be setback a minimum of 2 metres from the street, and this setback should be fully landscaped
Side and rear setbacks	<ul style="list-style-type: none"> unless a building is built to the boundary, include a minimum 2 metre setback to the side and rear any side and rear setback should be entirely landscaped with a mixture of ground cover, shrubs and canopy trees for industrial developments with a side or rear boundary to a residential area provide a minimum 3 metre setback that is fully landscaped any side or rear setback that interfaces with an area of environmental significance (except adjacent to native grasslands) or public open space should be landscaped using native or indigenous species, unless fire management requirements specify otherwise lots greater than 2000sqm should provide a minimum 2 metre landscape side setback to car parking areas locate car parking and loading areas where possible to the side and rear of buildings
Developments along a railway corridor	<p>Developments along a railway corridor should:</p> <ul style="list-style-type: none"> refer to the <i>VicTrack Rail Development Interface Guidelines (August 2019)</i> consider the location of gas or fuel pipelines that may be present along the railway corridor and any requirements pursuant to the <i>Pipelines Act 2005</i> <p>Landscape setbacks are to be provided as follows;</p> <ul style="list-style-type: none"> within 30 metres of the Geelong-Melbourne railway in SUZ3 areas (except for areas already developed for works at the approval date) within 10 metres of the Geelong-Melbourne railway and the Laverton-Altona railway in SUZ4 areas
Development along a waterway corridor	<p>Developments along waterway corridors should:</p> <ul style="list-style-type: none"> include a written response that addresses how the design responds to the local waterway or wetland setting and supporting design objectives include a site design that considers the visual and stormwater runoff impacts of the development

Setting	Landscape and Building Setbacks
	<ul style="list-style-type: none"> • consider the views of a relevant waterway and floodplain management authority (Melbourne Water) • improve passive surveillance along waterway corridors and avoid unsightly blank interfaces • ensure loading and storage areas do not dominate views from the creek • refer to the Melbourne Water’s <i>Waterway Corridors – Guidelines for greenfield development areas</i> • encourage healthy and active communities and promote access to waterways where possible <p>Landscape setbacks are to be provided as follows:</p> <ul style="list-style-type: none"> • within 100 metres of the banks of Kororoit Creek • within 60 metres of Laverton Creek • within 60 metres of Cherry’s Drain and Cherry’s Lake • within 60 metres of Stoney Creek • within 60 metres of Stoney Backwash (where achievable)
<p>Development within Birmingham Street Area in Spotswood – Schedule 2 of the Design and Development Overlay (DDO2)</p>	<p>Industrial development should be setback:</p> <ul style="list-style-type: none"> • at least 20 metres from Birmingham Street • at least 9 metres from Melbourne Road • the setback area shall be landscaped and maintained in accordance with a landscaping plan approved by the responsible authority

4.3. Landscaping

Design objectives

- to encourage well landscaped industrial precincts with well-defined streetscapes and increased tree canopy cover that contribute to the Hobsons Bay Urban Forest Strategy 2020 tree canopy cover targets
- to encourage landscaping that enhances the appearance and amenity of the site, streetscape and public areas
- to ensure the selection of plant species is suitable for the local context and enhances biodiversity values where possible
- to reduce the urban heat island effect
- to promoting safety by maximising visibility and passive surveillance and providing good connections and access

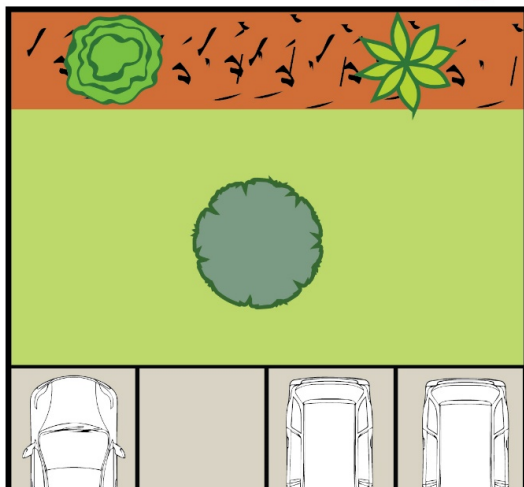
- to discourage privatisation of spaces that interface with or provide access to waterway systems

4.3.1. Landscaping design

Design guidance

- landscaping design should:
 - incorporate tree planting throughout the site, including within setbacks, where appropriate
 - avoid extensive areas of river rocks, artificial turf, or other similar treatments as they contribute to the urban heat island effect
 - avoid use of large rocks for security purposes and instead incorporate tree planting or consider appropriate fencing in accordance with section 4.7
 - incorporate a combination of trees, shrubs and groundcovers to create visual diversity, where appropriate
 - incorporate Water Sensitive Urban Design (WSUD) where applicable. Refer to section 5.1 for further information
 - include irrigation systems (where required)
 - have regards to plant height and growth at maturity to prevent overgrowth on footpaths and public spaces
 - complement the building design and form
 - result in effective and substantial landscaped areas
 - designed to provide a sensible balance between grassed and garden areas
 - generally, allow views into and across industrial sites rather than seeking to screen them entirely from view
- plant species selection should suit the environment, location and intended use. Plant species should be selected from the preferred species list as detailed within

Low plant density without maintenance encourages the growth of weeds



Appropriate plant density helps suppress weed growth

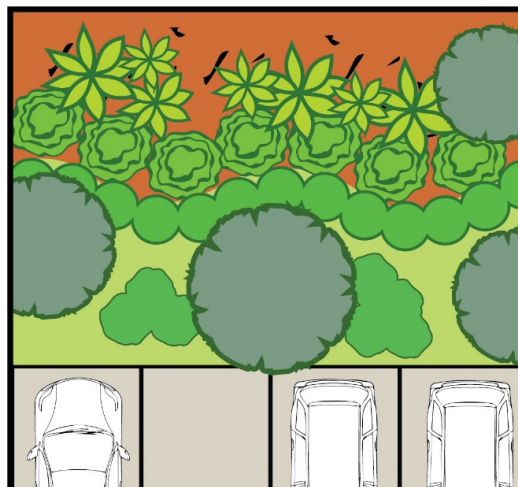


Figure 15 - Appropriate plant densities

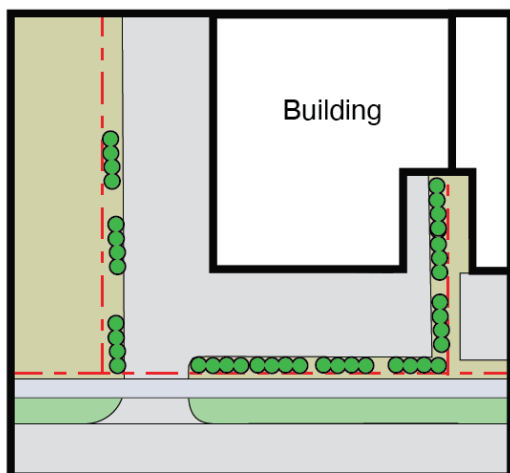
the *Hobsons Bay Landscape Design Guidelines 2021* unless adjoining native grasslands

- where appropriate, plant species selection should be hardy, require little maintenance and not require irrigation from potable water
- garden beds should have an appropriate plant density and use ground cover species (where practicable) to suppress weeds
- green walls and green or brown roofs are highly encouraged in building design to reduce the urban heat island effect. The building design should consider the on-site climatic conditions, weight loading, drainage, irrigation, and maintenance requirements to support the longevity of green walls and green roofs

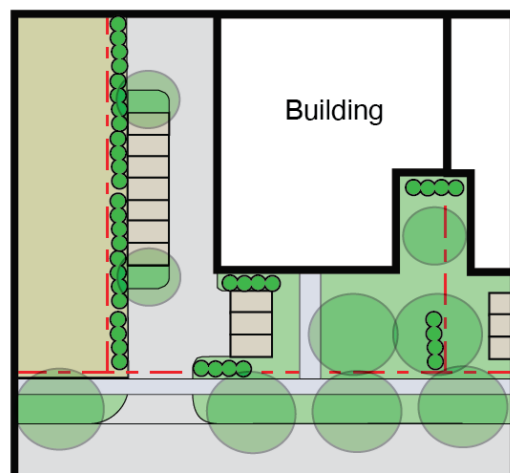


Figure 16 - Image of existing green roof

Tip: Green and brown roofs on large buildings can help maintain internal temperatures and filter as well as retain on-site stormwater.



Narrow landscaping strips are ineffective and should be avoided



Aggregated landscape areas provide space for larger trees to complement street trees, increase surface permeability and provide staff amenity areas

Figure 17 - Aggregated landscaped areas

Tip: Aggregation of landscape areas can provide opportunities for increased landscaped areas.

- where landscaping cannot be fully provided within the site because of existing buildings and works, planting outside the site (such as within the public nature strip) may be considered

- landscaping may be integrated with the public nature strip to complement site landscaping, where appropriate and should have regard to public safety
- ensure appropriate levels of surveillance adjacent to public thoroughfares with dense planting between neck and knee height that maintains passive surveillance and reduces hiding places

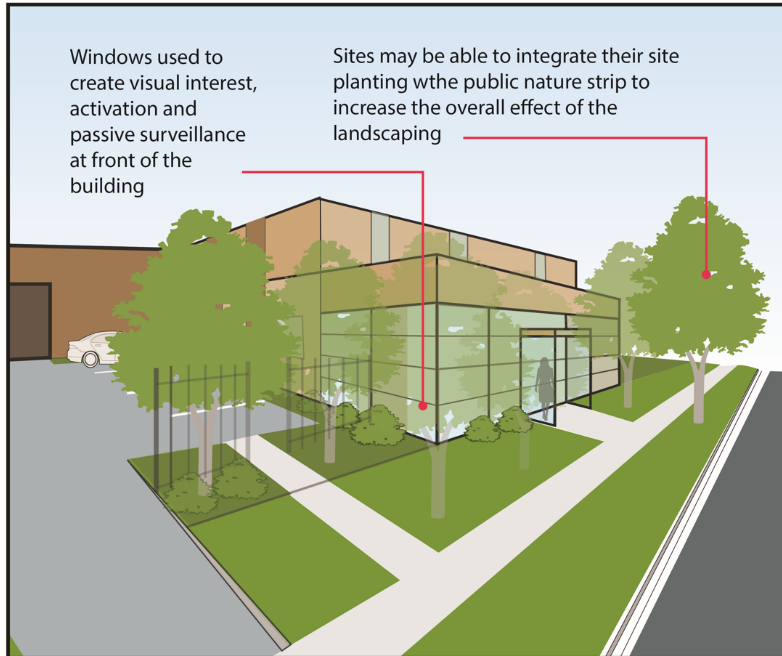


Figure 19 - Integrating site planting with public nature strips

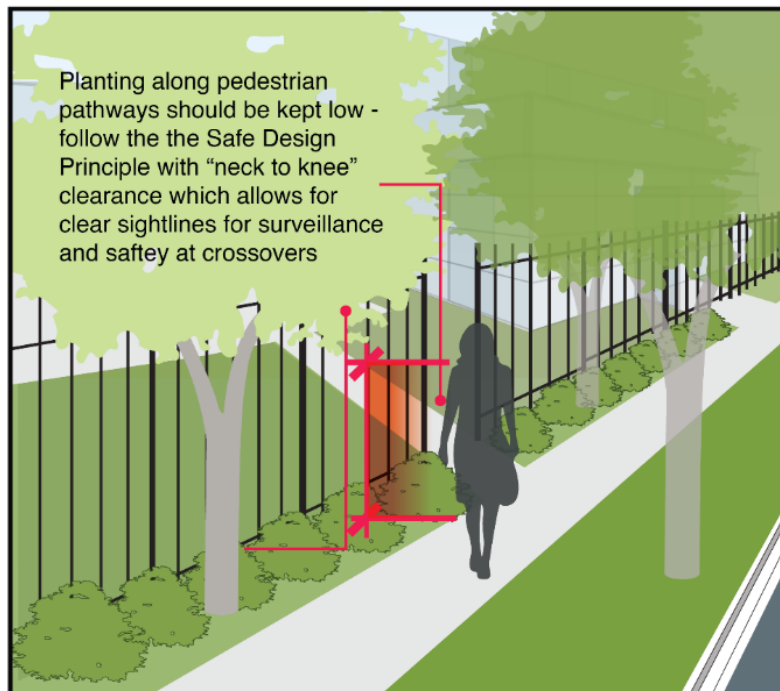


Figure 18 - Planting along pedestrian pathways for safety

4.3.2. Trees

Design guidance

- Trees should be:
 - selected and placed to complement and be in scale to the building
 - positioned to soften the height of buildings and structures
 - provided with sufficient space and soil depth/volume to promote growth. Soil should be sandy loam and free of weed seed
 - planted in locations that does not adversely impact upon the infrastructure such as light poles
- suitable tree species should be selected from Hobsons Bay’s Landscape Design Guidelines (2021) except where adjacent to native grasslands where suitable native tree species will be required
- appropriate ground surfaces should be chosen for the area around trees to maximise tree root access to water and air
- where appropriate, hard stand areas should be divided into smaller areas with aggregated areas for landscaping and tree planting

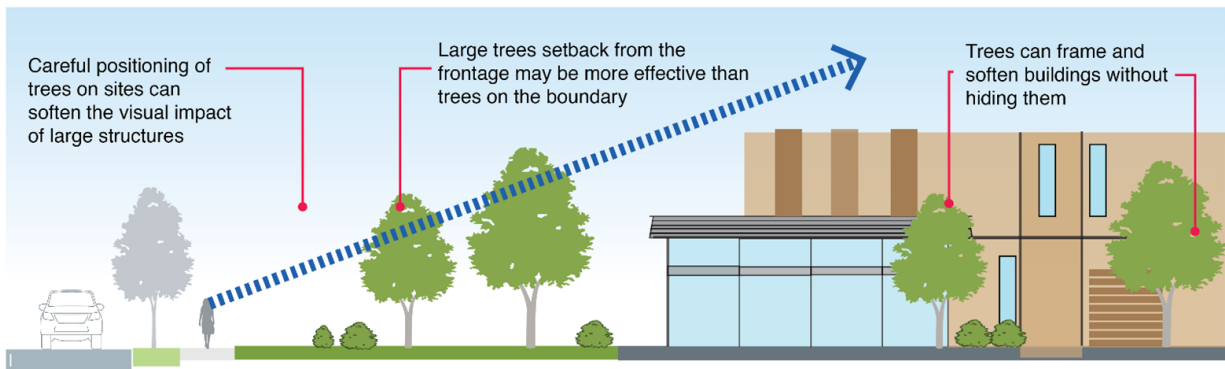


Figure 20 - Orientating large trees to soften the visual impact of buildings

- car parking areas should be landscaped with canopy trees at a rate of 1 tree per 6 bays

Tip: The use of trees is critical to a successful landscaping outcome in industrial areas, where buildings are of a larger scale. Trees viewed from a distance can help break up the substantial lines of large industrial buildings and warehouses.

4.3.3. Landscaping in car parking areas

Design guidance

- the landscaping design should be integrated with pedestrian thoroughfares and car park function
- a minimum of one canopy tree should be provided at a rate of one canopy tree for every six car parking spaces
- trees should be provided with sufficient space to promote healthy growth and

protection

- landscaping design should optimise tree planting patterns to maximise shade for parked vehicles and pedestrians where appropriate

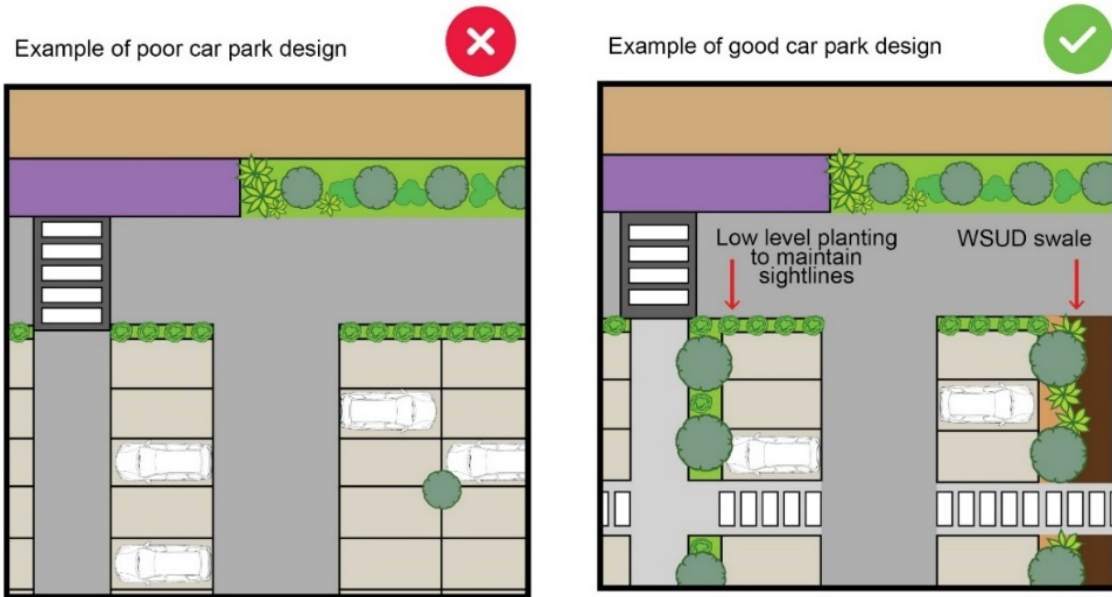


Figure 21 - Car parking design

- landscaping design should soften the appearance of the car parking area but not obstruct sight lines for pedestrian safety and traffic visibility
- car parking design should not impact or reduce the overall landscaping area which can include elements such as vehicle overhang, access to car doors, pedestrian paths, lighting, and signage

Tip: You can prevent vehicle overhang by using wheel stops, raised edging and vehicle barriers.



Figure 22 - Vehicle overhang

- landscaping strips next to car parking areas should, where possible be at least 1.8 metres wide excluding kerbs and other barriers. At larger premises where high maintenance grassed areas and garden beds are placed in front of fences, the grassed areas should ideally be several metres wide to allow easier mowing
- the design of car parking areas should include continuous islands between rows of car parking bays to allow for landscaping or Water Sensitive Urban Design (WSUD) elements

4.4. Waste

Design objectives

- to ensure each site has sufficient and appropriate access to waste and recycling areas/facilities
- to ensure that waste is handled and stored so that it does not lower the appearance and amenity of the neighbourhood
- to ensure that waste does not impact upon the quality of stormwater and the surrounding environment
- to apply circular economy principles of reducing waste to landfill and supporting the Victorian Government's *Recycling Victoria - A new economy (2020)* plan for a circular economy

Design guidance

- all premises should have a designated bin area for the storage, sorting, and removal of garbage, recyclables and other wastes generated from the site
- all garbage, recyclables and other wastes generated by a development need to be stored in the appropriate waste bins or containers with permanent, well-fitting lids
- AS4123.7 bin colours should be adopted and businesses should consider the separation and management of re-usable waste materials such as paper, cardboard, glass, plastics, metals, and organic materials
- where practical, provide smaller internal receptacles to collect materials for recycling streams. For example, providing a 10L caddy in a kitchen area for the separation of food scraps for organic recycling or a 60L receptacle for paper in office areas
- bin storage areas should be integrated with the building design and site layout
- bin storage areas including recycling bins should be:
 - appropriately screened from the public realm, street frontages and staff amenity areas
 - located away from stormwater drains, pedestrian paths or dedicated landscaped areas
- bin storage areas should allow ease of access by all users and waste collection service trucks

- bin storage areas should be easy to clean, with access to water and correct drainage to the sewer. Never allow the water from washing bins and/or waste storage areas to flow into the stormwater drain
- where liquid wastes are generated on site, a separate storage area is required. Liquid waste storage areas should be bunded and drained to a grease trap, in accordance with the requirements of EPA Victoria
- clinical, hazardous and electronic waste should be placed in specialised containment bins and collected by specialised services
- collection frequency for commercial developments should be minimised to reduce amenity concerns and congestions
- waste should be stored in a confined and designated area that is kept tidy so that:
 - no dust, grit, liquid, or odours are emitted beyond the site boundaries
 - waste is not scattered via wind gusts
 - vermin are not attracted to the waste
- stockpiling of waste should be avoided. Where stockpiling of waste is unavoidable it should always be managed within EPA Victoria guidelines
- provision of on-site waste storage bins during the construction phase of the development will be required. Recovery of construction and demolition waste for reuse, repurpose or recovery should be prioritised
- plan for how the performance of the waste management system will be monitored to ensure minimal contamination and maximised recycling

4.5. Storage

Design objectives

- to ensure storage of goods does not adversely impact on the appearance and amenity of the area
- to ensure that sufficient area is allocated for external storage
- to ensure that storage of goods does not impact upon the quality of stormwater

Design guidance

- outdoor storage should be:
 - located behind buildings
 - set back from boundaries to allow for landscaping
 - consolidated into grouped areas rather than dispersed throughout the site
 - appropriately screened from public view by fencing, landscaping, or trellises

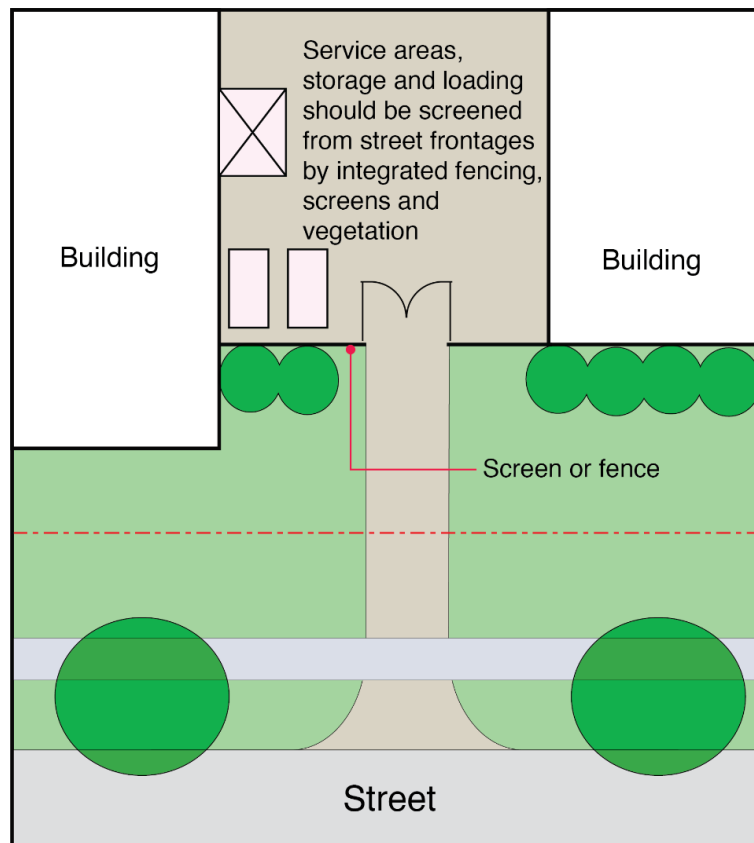


Figure 23 - Screening

- located away from stormwater drains, pedestrian paths or dedicated landscaped areas
- at least 3 metres away from adjacent conservation areas and native grasslands to prevent opportunities for the growth and spread of exotic species and known weeds

Tip: Screening of storage and loading can be achieved in several ways which will improve the appearance of the site from the street and increase site efficiency.

4.6. Lighting

Design objectives

- to ensure lighting does not impact the amenity of the local area or negatively affect ecosystems within nearby conservation areas or native grasslands
- to ensure sites are appropriately lit to provide security and safety for pedestrians

Design guidance

- all outdoor lighting should comply with *AS/NZS 4282:2019 – Control of the obtrusive effects of outdoor lighting (2019)* and *National Light Pollution Guidelines for Wildlife Including Marine Turtles, Seabirds and Migratory Shorebirds (2020)*
- lighting of walls facing streets and public spaces is encouraged
- lighting should be located:
 - at building entrances, areas where goods and equipment are stored outside, and car parking vehicle entrances and exits
 - pedestrian and cycling routes
 - points of potential conflict between pedestrian, cyclists, and vehicular movements
- lighting design should be co-ordinated with tree planting to ensure trees do not obscure lights
- adequate security lighting should be provided and be energy efficient. Sensor lighting should be considered where security is not essential
- landscape lighting should be considered near public boundaries
- sites that are in proximity to residential, native grassland or conservation areas should use the following recommendations to prevent light pollution:
 - light only the intended object or areas by:
 - keeping lights close to the ground, where possible
 - using light shielding or baffling
 - keeping light from shining upwards
 - use smart lighting controls such as dimming, motion sensors, timers, and technology to remotely manage lights
 - use lights with reduced or filtered blue, violet, and ultraviolet wavelengths (i.e., warmer colour lights)
- unnecessary external lighting is discouraged

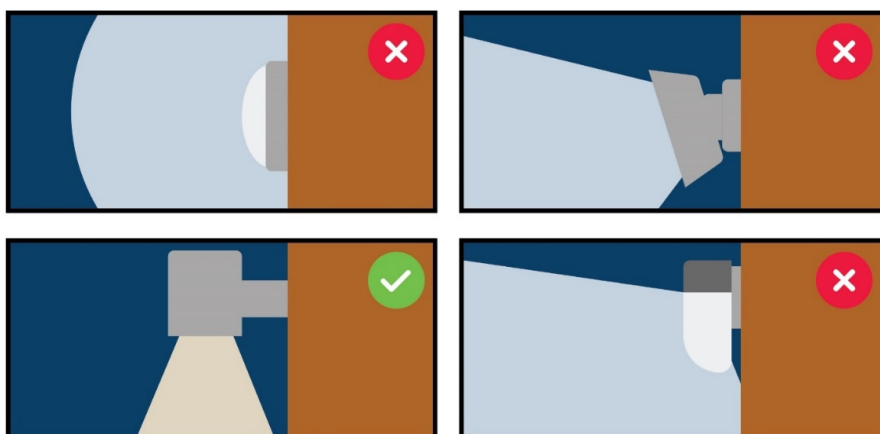


Figure 24 - Appropriate external lighting

4.7. Fencing

Design objectives

- to ensure that fencing complements the amenity of the area and contributes to an 'open' streetscape
- to ensure fences provide adequate site security

Design guidance

The following general guidelines apply where a planning permit is required:

- fencing should be set back to, or behind the building line so that the building itself becomes part of the security solution along the street frontage
- fences and gates should be integrated with the design of the building and should:
 - be visually permeable, unobtrusive or low height (where applicable) to provide passive surveillance
 - not detract from the streetscape

Tip: It should generally be

semi-transparent and

articulated, while providing

adequate security for the premises. Solid and unarticulated fencing should be avoided

- at smaller industrial sites, fences higher than 1.5 metres should generally not be constructed across the entire frontage, unless there is a requirement for site security
- where high fences are used to enclose an industrial site, it is preferable that a section of the front of the premise be open to the street to provide a sense of address and contribute to the streetscape
- where site security along the boundaries (not frontage) is required, fencing and gates should be constructed of black PVC coated chain link fence or black steel post style

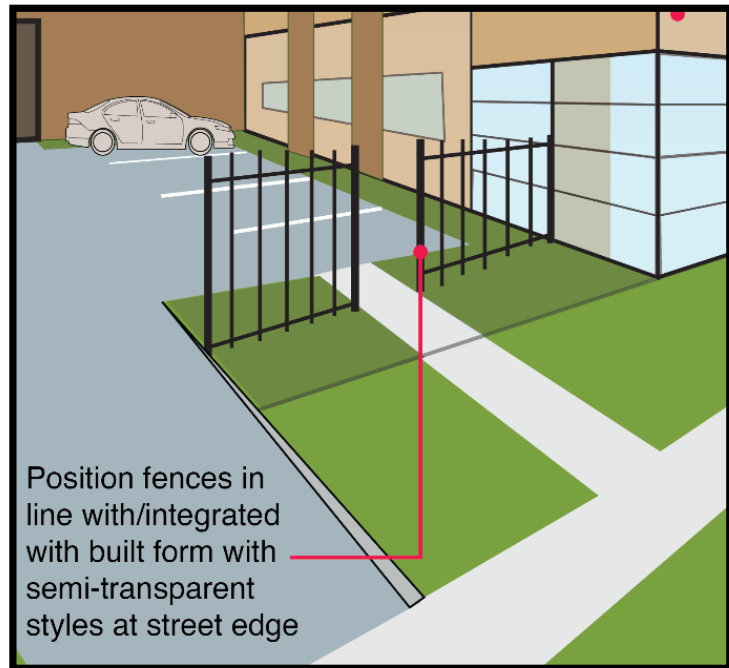


Figure 25 - Fencing design

4.8. Signage

Design objectives

- to ensure the design of signage is responsive to the site and scale of development on the site and suitably respectful of nearby residential areas and areas of environmental significance
- to provide clear way-finding signage to direct pedestrian, cyclist, and vehicular movement

Design guidance

- development applications are encouraged to submit an overall signage strategy for their site which includes business and directional signage
- business identification signage should be incorporated into the building design
- way-finding signage should be provided within sites to delineate entries and exits, staff and visitor parking, office, loading areas and bicycle parking facilities
- way-finding signage should complement the overall design of the development and be consistent in style and form throughout the site
- signage fronting residential areas and areas of environmental significance should be designed so that it does not detrimentally affect the character of the area
- the location of signage should be clear of vegetation and not impede access
- to enable a seamless design, telecommunication infrastructure should be incorporated within the design of a pylon or free-standing panel sign where appropriate
- internally illuminated and animated signs should not be orientated to face any native grasslands or any areas of environmental significance

4.9. Material & colour palette

Design objectives

- to create attractive buildings and visual interest even where the intended use dictates a solid form or large expanses of blank façade
- to ensure the colour and materials palettes of industrial buildings are appropriate to the locality and sensitive interfaces
- to reduce environmental impact (heat absorption or reflection) through materials used
- building materials should be reclaimed, recycled or recyclable where possible and be of a high quality with minimal ecological footprint (life cycle). These materials should be robust and be resistant to weathering.

Design guidance

- development applications are encouraged to use materials and colours appropriate to the location, building and landscape design

- for sites adjacent to public open space (reserves, grasslands, creeks), materials should be utilised that reinforce the landscape such as timber and textured concrete
- side and rear walls visible from a residential area, railway or waterway corridor should be articulated, textured and painted to address this interface, and have graffiti proof paint applied to 3 metres above ground level where walls are accessible
- use of bright, bold colours in large portions or that are not compatible with the muted tones of the natural landscape are discouraged
- light coloured roofs and paving should be used to reflect as much heat as possible, however, reflectivity and glare impacts should also be considered
- external finishes should be of low reflectivity to minimise glare and reflection to surrounding areas

5. Environmentally Sustainable Development Principles

Environmentally Sustainable Development (ESD) principles aim to protect our environment and mitigate the effects of stormwater runoff, climate change and the urban heat island effect.

5.1. Water Sensitive Urban Design

Design objectives

- to lower contamination of stormwater discharge and help improve the quality of local waterways and the surrounding environment
- to reduce potable water consumption
- to achieve environmentally sustainable developments by encouraging the use of Water Sensitive Urban Design (WSUD) techniques
- to assist in the management of urban stormwater run-off and reduce the pressure on drainage infrastructure
- to minimise increases in stormwater and protect the environmental values and physical characteristics of receiving waters from degradation by stormwater
- to encourage stormwater management that maximises the retention and reuse of stormwater

Design guidance

- applicants are encouraged to engage with a WSUD consultant to maximise the use of WSUD elements within the site
Tip: For further information about the WSUD visit the Melbourne Water website.
- consider the necessary ongoing maintenance and management of WSUD elements within the initial design stage
- where practicable, the site layout should include:
 - vegetated swales instead of conventional kerb and channel drainage
 - raingardens or bioretention systems to reduce pollutants in stormwater, improve stormwater quality and reduce peak run-off flows while providing attractive landscaping
 - buffer or vegetated strips to increase permeable surfaces and filter sediments and coarse pollutants within stormwater run-off
 - stormwater infiltration measures at the end of swales or open drains
- where practicable, rainwater run-off from industrial roofs and concreted areas should be collected in a water saving / catchment device for reuse in the irrigation of landscaped areas, production processes, toilet flushing, external wash down facilities and other industrial uses that does not require potable water
- WSUD assets treating more than one lot within multi-unit developments should be placed within common property where they can be more effectively managed and do not unreasonably burden any single lot owner
- stormwater run-off should not have a negative impact on nearby native grasslands or conservation areas

5.1.1. Permeable paving

Design guidance

- high site permeability is encouraged in all developments. At least 30 to 40 percent of the total site areas should be permeable
Tip: This can be achieved by maximising open space areas that enable natural drainage such as garden beds and grassed areas.
- where practicable, permeable paving or porous materials should be used to increase stormwater infiltration, reduce surface water run-off, and provide passive irrigation to trees, landscaped areas or WSUD systems
Tip: Examples of porous materials include gravel, granitic sand, unit pavers on a sand and crushed rock base.
- before installing permeable paving, applicants are encouraged to seek specialist advice to help maximise the benefits, understand the maintenance requirements and protect building infrastructure
- permeable pavements should not be used in areas subjected to frequent flooding (i.e., floodplains) or overland flow paths where high rates of sediment transported during flood events can cause significant clogging
- where practicable, the application of permeable paving should be considered in low traffic and light load bearing areas such as visitor car parking bays, driveways, outdoor worker amenity areas, plazas, assembly areas and pedestrian walkways
- to prevent structural damage, infiltration-promoting systems (such as permeable paving) should be applied away from buildings. Offset distances will depend on the permeable pavement design and selection of materials
- the design of infiltration-promoting systems should consider mechanisms to manage flows that are above the system's treatment capacity. Overflows from permeable paving systems should not be directed towards or cause damage to structures, buildings or services
- thorough prior assessment should be undertaken when considering the application of infiltration-promoting systems in the vicinity of heritage buildings

5.2. Energy efficient urban design

Design objectives

- to reduce a buildings greenhouse emissions by encouraging energy efficient design principles for industrial developments
- to adopt economically viable energy efficient design initiatives
- to ensure that industry strives to minimise its impact on global warming and climate change through appropriately designed buildings
- to locate buildings on sites so they are oriented to maximise opportunities to capture natural lighting and allow for natural ventilation

5.2.1. Natural lighting

Design guidance

- provide adjustable shading devices to all north, east, and west facing glazing
- where practicable, maximise natural lighting to all spaces within the development (including warehouses). Alternative daylight access options include:
 - skylights
 - operable clerestory windows
 - lightwells
 - tubular skylights
 - translucent roofing materials

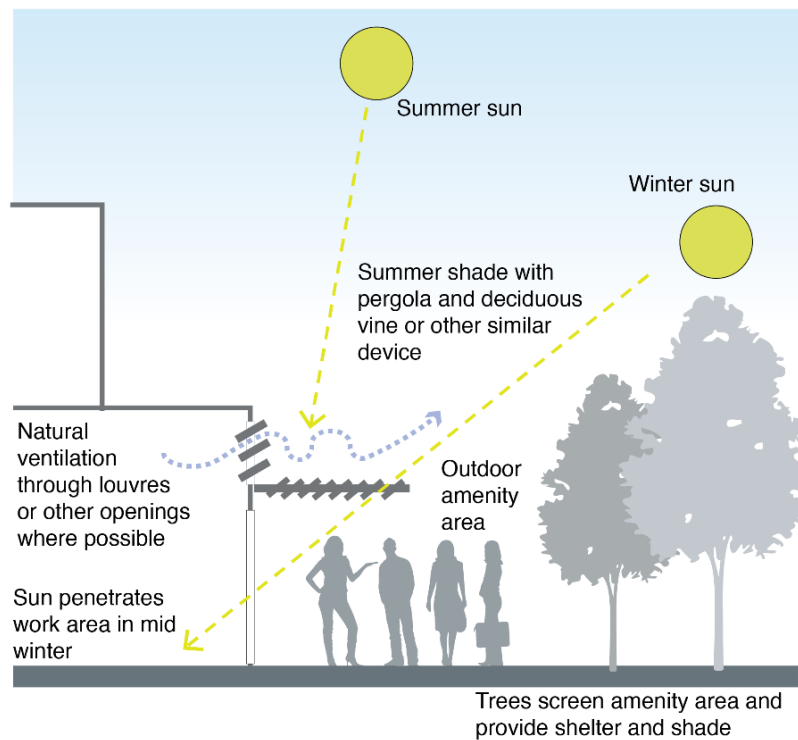


Figure 26 - Natural lighting

5.2.2. Heating and cooling

Design guidance

- maximise insulation and thermal mass and minimise air building leakages, where appropriate
- maximise natural ventilation that promotes cross flow ventilation within the building and ensuring the openings can be well sealed to minimise draught in colder months

- heating and cooling systems should minimise power output while meeting the specific temperature needs of the business activities within a building
- provide rotating or ridge vents to allow ventilation to warehouse spaces
- large external surface areas (such as roofs and driveways) should use colours with a Solar Reflectance Index (SRI) greater than 50 to reflect the heat and reduce surface temperatures

Tip: Light colours such as white, light stone and cream are great for reflecting heat.

- where practicable, the design of pedestrian pathways and outdoor worker areas should incorporate landscaping and shading to improve human thermal comfort

5.2.3. Options to reduce electricity use

Design guidance

- developments should consider the spatial requirements for onsite renewable energy generation, future renewable energy storage or other load management systems
- roof structures of new developments should include or be designed to be able to accommodate solar photovoltaic (PV) arrays
- developments should utilise energy efficient appliances and lighting
- developments should implement onsite technologies that produce renewable sources of electricity for consumption
- developments are encouraged to switch to Green Power or similar accredited renewable energy



Figure 27 - Image of renewable energy

5.3. Sustainable Building Materials

Design objectives

- to minimise the total material resources used
- to minimise the environmental impacts of material used
- to encourage the use of environmentally friendly materials

Design guidance

- where practicable, the development should reuse all or part of existing buildings
- building materials should be high quality and durable
- chosen building materials should be sustainably sourced and where practicable, locally sourced to:

- reduce the carbon footprint from transportation
- contribute to a circular economy

- materials with recycled content are encouraged.

Examples include:

- concrete that is made up of recycled aggregate or water
- use of Supplementary Cementitious Materials (SCM's) made from recycled materials
- building supplies made from by-products or recycled materials such as:
 - structural and reinforced steel that uses recycled steel content
 - recycled glass
 - recycled timber, certified plantation or engineered timber materials
 - cross laminated timber
 - water based building finishes / materials, over products which contain volatileorganic compound.



Recycled aggregates and concrete



Recycled timber



Recycled glass

6. Specific use requirements

6.1. Container storage

The use of shipping containers is an important aspect of many businesses in Hobsons Bay. Efficient movement, storage and buffer treatments will ensure that containers are safely handled with minimal impacts to streetscape amenity.

Design objectives

- to ensure the placement of containers does not adversely impact the appearance and amenity of the site and surrounds
- to ensure the stacking of containers does not pose a safety hazard

Design guidance

- container storage areas should be setback at least 6 metres from all boundaries
- the container stacks should not exceed 4 containers high on any surface other than concrete hardstand and should not exceed 6 containers high on concrete hardstand
- the most immediate facing tier to the fence line should not exceed one container high and the tiers must only rise by one increment (in a pyramid formation) until the maximum is reached
- landscaping and canopy trees should be incorporated into the setbacks to soften and minimise the appearance of storage container stacks on the street

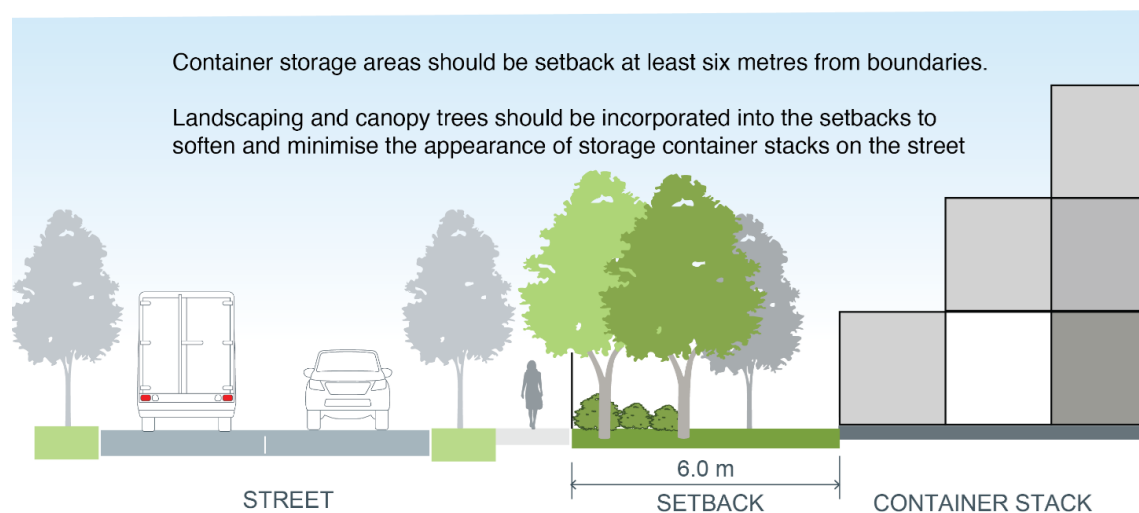


Figure 28 - Container storage setbacks

6.2. Factoryettes

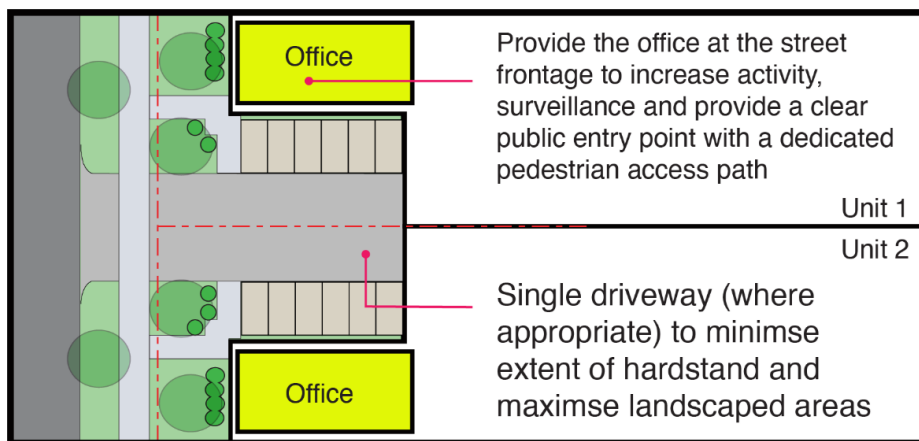
Design objectives

- to ensure the size of factoryettes is adequate and can comfortably accommodate a variety of self-contained industrial uses and associated facilities
- to ensure that factoryettes do not detract from the amenity and aesthetics of surrounding areas
- to ensure that factoryettes are built for pedestrian accessibility and mobility

Design guidance

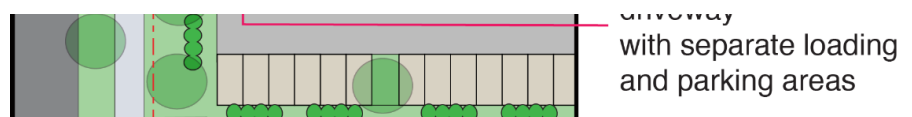
Each factoryette unit should have:

- a separate roller or tilt door access for light commercial vehicles
- a pedestrian door to an office area that is separate from the vehicle access door
- a dedicated rubbish skip storage area that is easily accessible by a waste collection vehicle
- a loading bay provided within proximity of each unit's vehicle access door
- toilet and bathroom facilities
- an internal screened storage area should be provided for each unit
- streetscapes should be designed to incorporate canopy trees and lower-level planting areas



Typical factoryette siting

Figure 30 - Typical factoryette siting



Typical factoryette siting with greater car park

Figure 29 - Typical factoryette siting with greater car park requirements

Appendix 1

Resources that have informed the preparation of the guidelines.

Document	Purpose
2890.2:2018 Parking facilities Off-street commercial vehicle facilities – <i>Australian Standard AS</i>	Specifies minimum requirements for the layout of off-street facilities for the loading and unloading of commercial vehicles, including design requirements for access driveways across the property boundary and for internal circulation roadways.
4282:2019 – Control of the obtrusive effects of outdoor lighting (2019) – <i>Australian Standards AS/NZS</i>	Sets out requirements for the control of the obtrusive effects of outdoor lighting. This Standard specifically refers to the potentially adverse effects of outdoor lighting on nearby residents, users of adjacent roads and transport signalling systems.
Hobsons Bay Biodiversity Strategy (2017-2022)	Guides conservation management in Hobsons Bay whilst ensuring alignment with Council operations, particularly conservation, land use planning and open space planning.
Hobsons Bay Industrial Land Management Strategy (2023-2038)	Provides guidance on the use of industrial land to support Councils objectives for economic growth and employment.
Hobsons Bay Landscape Design Guidelines (2021)	Seeks to ensure that high quality landscape design is provided as part of developments. Outlines key considerations and recommendations for any landscape plan submitted to Council.
Hobsons Bay Native Vegetation Offset Guidelines (2022)	Provides guidance on offsets when removal of native vegetation within Hobsons Bay is permitted.
Hobsons Bay Planning Scheme	Outlines the objectives, policies and controls for the use, development, and protection of land within the City of Hobsons Bay.
Hobsons Bay Response to Climate Change Action Plan (2022)	Outlines the actions that Council will take to help build the resilience of the community, reduce greenhouse gas emissions, provide future-proofed public spaces and protect and enhance the natural environment.
Hobsons Bay Urban Forest Strategy (2020)	Aims to increase tree canopy in Hobsons Bay to 30 per cent by 2040 to help create a liveable city and a better urban environment that contributes to the community's health and wellbeing.
National Light Pollution Guidelines for Wildlife - Including Marine Turtles, Seabirds and Migratory Shorebirds (2020) <i>Australian Government Department of the Environment and Energy</i>	Provides guidance on managing artificial light so wildlife is: <ul style="list-style-type: none"> • Not disrupted within, nor displaced from, important habitat; and • Able to undertake critical behaviours such as foraging, reproduction and dispersal
Recycling Victoria – A new economy (2020) <i>DELWP</i>	Outlines a plan of reform to establish a recycling system that Victorians can rely on. The document aims to transform how Victoria reuses, repairs and recycles.

Document	Purpose
Start with the grasslands (2013) – <i>Victorian National Parks Association</i>	Provides guidance for the design and management of native grasslands to maximise environmental and social outcomes.
Urban Design Guidelines for Victoria (2019) - <i>DELWP</i>	Provides advice on building design in relation to a building's interface with public spaces, and the layout of cities, towns, and neighbourhoods. It is a reference document in all planning schemes through the Planning Policy Framework.
VicTrack Rail Development Interface Guidelines (2019)	Provides guidance on how to establish an appropriate interface with railway land to ensure development does not adversely affect existing and future transport operations.
Water Sensitive Urban Design Guidelines – South Eastern Councils (2013) <i>Melbourne Water</i>	Provides clarity on Water Sensitive Urban Design (WSUD) processes and information on the planning, design, construction and maintenance of WSUD systems.
Waterway Corridors – Guidelines for greenfield development areas within the Port Phillip and Westernport Region (2013) <i>Melbourne Water</i>	Provides guidance on waterway corridor widths, vegetation quality, infrastructure and activities permitted in waterway corridors to ensure waterway resilience and function in the face of urban development.

Appendix 2

Preferred plants along creeks and waterways

Trees

Botanical name	Common name	Height (m)	Width (m)	Evergreen/Deciduous	Comments
Eucalyptus leucoxylon	Yellow Gum	25	10	E	Large native tree
Eucalyptus melliodora	Yellow Box	30	25	E	Large native tree
Eucalyptus leucoxylon connata	Melbourne Yellow Gum	20	15	E	Medium native tree that is a great habitat for insects and attracting birds
Melaleuca lanceolata	Moonah, Rottnest Teatree	8	5	E	A highly ornamental but hardy small native tree
Banksia marginata	Silver Banksia, Honey Suckle	8	5	E	Small native tree that has flowers and are a great habitat for birds
Callitris glaucophylla	White Cypress Pine	15	10	E	Medium sized native tree great for providing habitat for wildlife
Eucalyptus microcarpa	Grey Box	25	12	E	Large native tree
Acacia implexa	Lightwood	10	8	E	Small native tree, suitable for easements
Allocasuarina verticillata	Drooping Sheoak	15	8	E	Medium sized native tree

Shrubs

Botanical name	Common name	Height (m)	Width (m)	Evergreen/Deciduous	Comments
Bursaria spinosa	Sweet Bursaria	5	4	E	Screening shrub
Eutaxia microphylla var. diffusa	Spreading Eutaxia	1.5	1.5	E	Flowering shrub
Acacia acinacea	Gold Dust Wattle, Round-leaf Wattle	1.5	2	E	Flowering shrub
Dodonaea viscosa	Sticky Hop Bush	3	3	E	Screening shrub

Sub-Shrubs

Botanical name	Common name	Height (m)	Width (m)	Evergreen/Deciduous	Comments
Rhagodia candolleana ssp. candolleana	Seaberry Saltbush	1.5	2	E	Coastal shrub
Correa glabra	Rock Correa	1.5	2	E	Flowering shrub
Duma florulenta	Tangled Lignum	2	2	E	Flowering shrub

Ground Covers

Botanical name	Common name	Height (m)	Width (m)	Evergreen/Deciduous	Comments
Dianella revoluta	Blue Flax-lily	0.5	0.5	E	Small clumping ground cover plant
Austrostipa scabra	Rough Spear Grass	0.5	0.5	E	Tufting perennial grass
Chloris truncata	Windmill-grass	0.5	0.3	E	Tufting perennial grass
Chrysocephalum apiculatum	Yellow Buttons	0.6	0.6	E	Clumping perennial ground cover plant
Pelargonium australe	Austral Stork's Bill	0.6	0.6	E	Flowering herbaceous ground cover plant
Enchylaena tomentosa	Barrier Saltbush	1	1	E	Hardy, woody shrub that bears small berries
Lomandra longifolia	Mat-rush	0.8	0.7	E	Upright tufting perennial

Glossary

Term	Definition
Areas of environmental significance	Areas of significant biodiversity such as areas of state regional or locally significant native grasslands.
Brown roofs	Consists of a waterproof system like a green roof. The surface substrate is not planted. Instead, the brown roof is left to self-vegetating plants (help from windborne or bird seed dispersal).
Building setback	Relates to the minimum distance a building is required to be constructed from a boundary with a neighbouring property or any natural or man-made feature adjacent to the lot.
Conservation area	An area of land that has been identified as having high biodiversity value.
Environmental areas	For the purposes of the guidelines, environmental areas include parks (that provides recreation and leisure benefits, either public or private), encumbered open spaces (i.e., wetlands and grasslands) and land zoned PPRZ or PCRZ.
Environmentally Sustainable Development (ESD)	Development that meets the needs of the present without compromising the ability of future generations to meet their own needs. Aims to improve the health and wellbeing of occupants through building design while reducing the impact of developments on the environment.
Factoryettes	Factoryettes consist of small industry warehouses or storage units developed on a single lot with shared driveways and car parking areas. They are often subdivided into individual units after development.
Green roofs	A layer of vegetation that is planted over a waterproofing system installed on top of a flat or slightly inclined roof.
Impervious or impermeable surfaces	Surfaces made of materials that do not allow water to pass through. Examples include roofs, buildings, roads, concrete and parking areas.
Landscape setback	Areas, delineated in the guidelines, which are to be used exclusively for planting. Landscape setbacks are usually adjacent to but within site boundaries.
Main road	Declared roads for which VicRoads has responsibilities under the <i>Road Management Act 2004</i> . Examples of declared roads include but are not limited to freeways and arterial roads.
Micromobility	For the purposes of the guidelines, micro-mobility is the use of small, lightweight (powered and unpowered) wheeled vehicles that are used for personal transport. Examples of micromobility include bicycles, e-bikes, e-scooters and e-skateboards.
Minor road	Municipal roads (secondary roads) that are predominantly for local access.
Native grassland area	An area of critically endangered ecological community listed under the <i>Environment Protection Biodiversity Conservation Act 1999</i> .
Passive design principles	Design elements of a development that help maintain a comfortable temperature within the building without relying on

Term	Definition
	additional heating or cooling. Examples of passive design include appropriate building orientation, shading, insulation and ventilation.
Passive surveillance	Passive surveillance is about providing the opportunity for occasional sightlines and views to the street and local surrounds from within a development.
Pervious or permeable surfaces	Surfaces made of materials that allow water to pass through and travel into the ground below. Examples of include garden beds, soil, gravel and permeable pavers.
Public open space	Public open space encompasses the variety of spaces within the urban environment that are readily and freely accessible to the wider community for recreation and enjoyment.
Residential area	An area where the land is primary used for housing.
Sustainable Building Materials	Sustainable building materials are made from production processes of a low environmental impact. They are recyclable or consist of reused materials sourced from production processes.
Supplementary Cementitious Materials (SCM)	Are materials (natural or by-products) added to concrete mixtures that can change the properties of concrete such as durability and hardening.
Tree canopy	The layer of leaves, branches and stems of trees that cover the ground when viewed from above. Tree canopy can help cool the areas beneath them, support healthy ecosystems, improve air quality, reduce stormwater flows, alleviate the urban heat island effect and promote active transport by providing shaded routes.
Vehicle overhang	When a vehicle, either its front or rear, extends outside of the parking bay perimeter. This protrusion may interfere with pedestrian and vehicle movement and reduce landscaping areas.
Water Sensitive Urban Design (WSUD)	Aims to reduce the impacts of urban development on the surrounding environment and waterways by managing stormwater runoff efficiently.
Waterway corridor	For the purposes of the guidelines, a waterway corridor includes a waterway (i.e., creek, drainage channel and river) and its bed and banks of land on either side of it. Concepts used to further design waterways include core riparian zone, floodplain and vegetated buffer – as described in Melbourne Water guidelines.



Gambling Harm Prevention Policy Statement

Draft (May 2023)

Acknowledgment of Country

Council acknowledges the Bunurong People of the Kulin Nation as the Traditional Owners of these municipal lands and waterways, and pay our respects to Elders past, present and emerging.

DRAFT

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DRAFT

1. Introduction

Gambling is a legal activity in Australia. However, gambling also causes harm in local communities.

Research shows that harm from gambling occurs across multiple 'domains', and can affect financial security, physical and mental health, work and study performance, and personal relationships (including the incidence or escalation of family violence).¹ While some gambling is not harmful, research indicates that the overall social costs of gambling activities may outweigh the benefits.² Additionally, research has shown that the impacts of gambling harm are unevenly spread, disproportionately affecting vulnerable groups and locations.³

In Hobsons Bay, electronic gaming machines (EGMs) have contributed to gambling harm over many years. Since their introduction in 1992, more than \$1.2 billion has been lost in Hobsons Bay, with research indicating that more than 40 per cent of regular (monthly) EGM users experience some level of harm.⁴ More recently, online gambling has become a more prominent source of harm, with state-wide losses reaching an estimated \$2.58 billion in 2021-22, an increase of 50 per cent since 2019-20. Local data is not available for online gambling, but it is likely that Hobsons Bay residents have experienced similar trends.

Council's Gambling Harm Prevention Policy Statement adopts a public health approach to addressing gambling harm in Hobsons Bay. This approach focuses on the prevention of gambling harm by addressing harmful products and environments, not just addressing the individual behaviours of people at experiencing or at risk of gambling harm. In doing so, it seeks to address the 'determinants of gambling harm' that shape individual behaviour, including a range of sociocultural, environmental, commercial and political factors.

Through this Policy Statement, Hobsons Bay City Council affirms its commitment to a public health approach to preventing harm from gambling. This approach is consistent with Council's role to protect, improve and promote public health and wellbeing, as required under the *Public Health and Wellbeing Act 2008*.

2. Purpose and scope

The purpose of this Policy Statement is to guide Council's efforts to prevent harm from gambling in Hobsons Bay. It specifically aims to prevent harm from EGMs and online gambling as much as possible, and within the scope of Council's roles and responsibilities.

¹ Browne, M, Langham, E, Rawat, V, Greer, N, Li, E, Rose, J, Rockloff, M, Donaldson, P, Thorne, H, Goodwin, B, Bryden, G & Best, T (2016) *Assessing gambling-related harm in Victoria: a public health perspective*, Victorian Responsible Gambling Foundation, Melbourne. Accessed March 2023.

² Browne, M, Greer, N, Armstrong, T, Doran, C, Kinchin, I, Langham, E & Rockloff, M (2017) *The social cost of gambling to Victoria*, Victorian Responsible Gambling Foundation, Melbourne. Accessed March 2023.

³ Armstrong, A., & Carroll, M. (2017) *Gambling activity in Australia*. Melbourne: Australian Gambling Research Centre, Australian Institute of Family Studies. Accessed March 2023.

⁴ Ibid.

These include advocacy for legislative and regulatory reform and through Council's land use planning role in developing policy and assessing EGM-related planning applications.

Research indicates that EGMs and online gambling are amongst the most harmful forms of gambling and have the greatest impact on our community (see Section 3.2).⁵ Other harmful gambling products (such as casino table games and private betting) are out of scope for this Policy Statement, as are less harmful products (such as bingo, instant scratch tickets and lotteries).

The priority areas and commitments presented in this Policy Statement are informed by research, preliminary engagement and an understanding of Council's roles and responsibilities. This Policy Statement represents our commitment to a public health approach, as well as informing Council's land use planning role in developing policy and assessing gambling-related planning applications. The Policy Statement also recognises Council's more limited role in preventing harm from online gambling, which is focussed primarily on advocacy, raising community awareness, promoting support services, and monitoring data and research.

This Policy Statement replaces Council's Problem Gambling (Electronic Gaming Machine) Policy Statement 2015.

3. Context

3.1. Overview of health and wellbeing impacts of gambling harm

Research has found that harm from gambling occurs across several domains, including relationships, health, psychological wellbeing and financial security.⁶ Varying levels of harm are experienced across the population, including for low-risk and moderate-risk gamblers.⁷ Research has found that 85 per cent of the total harm from gambling in Victoria arises from low-risk gambling and moderate-risk gambling.⁸

Harm from gambling is experienced not only by individuals, but also by families, friends, workplaces and local communities. At an individual level, gambling harm is known to exacerbate and contribute to other issues such as mental ill-health, use of alcohol, tobacco

⁵ Ibid.

⁶ Browne et al (2017). Accessed March 2023.

⁷ The Problem Gambling Severity Index (PGSI) measures the severity of gambling harm. It uses the following categories:

- Non-problem gambler – gambles with no negative consequences.
- Low-risk gambler – experiences a low level of problems with few or no identified negative consequences.
- Moderate-risk gambler – experiences a moderate level of problems leading to some negative consequences.
- Problem gambler – gambles with negative consequences and a possible loss of control.

This Policy Statement avoids using the term 'problem gambler' as it reinforces stigma experienced by people experiencing gambling harm. However, it follows the PSGI framework that the risk and experience of gambling harm is not uniform and occurs with varying levels of severity. See Victorian Responsible Gambling Foundation (n.d.) *Problem Gambling Severity Index*, <https://responsiblegambling.vic.gov.au/for-professionals/health-and-community-professionals/problem-gambling-severity-index-pgsi>

⁸ Miller, H. (2017) Hidden harm: Low-risk and moderate-risk gambling, Victorian Responsible Gambling Foundation, Melbourne – accessed March 2023.

and other drugs, family violence and homelessness.⁹ At the population level, the estimated cost to Victorian communities has been estimated at \$7 billion for 2014-15, which includes the costs to our governments, local communities, businesses, families and the individual.¹⁰

Higher availability and accessibility of gambling venues and EGMs contributes to increased harm. Data and research show that locations with higher numbers of EGMs generally experience higher losses¹¹ and research has also linked a higher concentration of EGMs to higher rates of family violence.¹² Availability and access to EGMs is also a key factor that normalises gambling in local communities, particularly for vulnerable groups such as children and young people.¹³

Research also indicates that some groups in our community are more likely to experience harm from gambling. Compared to people who do not experience harm from gambling, the following groups are significantly over-represented amongst those who do experience harm: men, people aged 18-29, First Nations people, people who are unemployed or not employed, as well as people who are single, renting, living in stressed communities, and living on low incomes or receiving income support payments.¹⁴ Social and personal factors such as mental ill-health, social isolation, financial insecurity, mortgage stress, and socio-economic disadvantage all increase the risk of experiencing gambling harm.¹⁵

3.2. Gambling in Hobsons Bay

Table 1 shows the proportion of regular (monthly) gamblers who are exposed to risk from different gambling products. The highest risk products include poker (46.3% of participants at risk of harm), casino table games (44.7%), private betting (43.4%), EGMs (41.5%), race betting (41.4% and sports betting (40.7%). Other gambling products are less likely to cause harm.

⁹ Ibid.

¹⁰ Browne et al (2017). Accessed March 2023.

¹¹ Victorian Gambling and Casino Control Commission (n.d.) Gambling expenditure data, <https://www.vgccc.vic.gov.au/resources/information-and-data/expenditure-data> - accessed February 2023.

¹² Markham, F., Doran, B., & Young, M. (2016) 'The relationship between electronic gaming machine accessibility and police-recorded domestic violence: A spatio-temporal analysis of 654 postcodes in Victoria, Australia, 2005–2014', *Social Science & Medicine*, 1–9. <http://doi.org/10.1016/j.socscimed.2016.06.008> - accessed February 2023.

¹³ Bestman, A., Thomas, S., Randle, M. and Pitt, H. (2017) 'Children's attitudes towards Electronic Gambling Machines: an exploratory qualitative study of children who attend community clubs', *Harm Reduction Journal*, 14:20, <https://harmreductionjournal.biomedcentral.com/articles/10.1186/s12954-017-0148-z> - accessed February 2023.

¹⁴ Armstrong & Carroll (2017). Accessed February 2023.

¹⁵ Rintoul, A., & Deblaquiere, J. (2019) *Gambling in Suburban Australia (Research Report)*, Melbourne: Australian Institute of Family Studies. Accessed February 2023.

Table 1: Proportion of regular (monthly) gamblers at risk of harm from various gambling products (adapted from Armstrong, 2017)

	Lottery	Instant scratch tickets	EGMs	Race betting	Sports betting	Keno	Casino table games	Bingo	Private Betting	Poker
Any risk (%)	13.2	18.2	41.5	41.4	40.7	32.6	44.7	31.5	43.4	46.3
Severe and moderate risk (%)	6.1	10.3	23.3	21.9	23.4	19.9	30.0	11.9	26.7	39.4

This Policy Statement will focus specifically on preventing harm from EGMs and online gambling, which includes race and sports betting. These will be prioritised as they are higher risk products, but also due to the scale of the losses in Hobsons Bay and Council's capacity to influence outcomes, particularly for EGMs.

Electronic Gaming Machines

In 2021-22, \$34.8 million was lost on EGMs in Hobsons Bay at a rate of \$129,479 for each day that gaming venues were open (see Table 2).¹⁶ This represents a 3.5 per cent increase on the average daily losses from 2020-21. On average, \$444 was lost per adult in Hobsons Bay during 2021-22, which is the 11th highest per adult in Greater Melbourne.

Data from the first half of the 2022-23 financial year show that this trend has continued, with a further 5.1 per cent increase in average daily losses. Notably, an estimated \$45 million has been saved on EGMs in Hobsons Bay in recent years due to the closure of gaming venues arising from COVID-19 health restrictions (see Table 2).

Table 2: Losses (and estimated savings) from EGMs in Hobsons Bay, 2018-19 to 2022-23

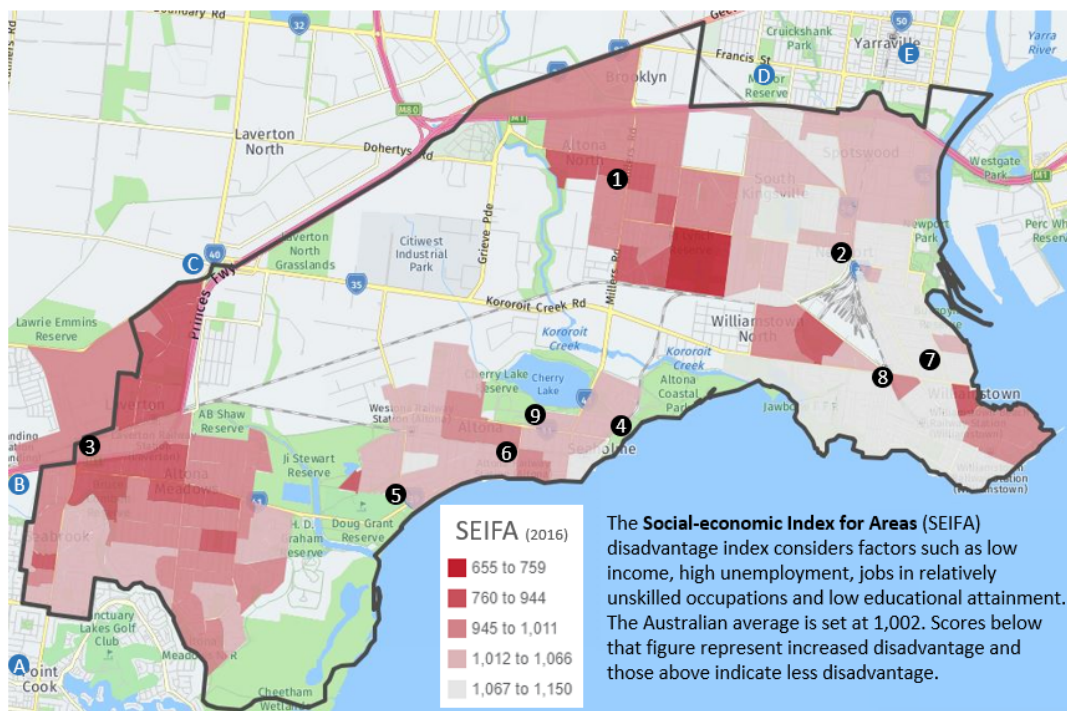
Year	Total Losses (\$)	Daily (\$)	Estimated savings during COVID-19 restrictions (\$)
2022-23 (Jul-Dec)	25,042,832	136,102	n/a
2021-22	34,829,849 (open 269 days)	129,479	12,006,869 (closed 96 days)
2020-21	25,889,811 (open 207 days)	125,072	20,558,805 (closed 158 days)
2019-20	34,611,659 (open 266 days)	130,119	12,888,486 (closed 100 days)
2018-19	47,042,974	128,885	n/a

¹⁶ Public health restrictions arising from the COVID-19 pandemic led to the closure of gaming venues during the 2019-20, 2020-21 and 2021-22 financial years. As such, average daily loss figures are used to enable comparisons over time.

There are currently 535 EGMs operating in Hobsons Bay across nine venues (see Figure 1). In 2017, the Victorian Government set Hobsons Bay's municipal cap at 577 EGMs. Therefore, there is capacity for growth in the number EGMs in Hobsons Bay.¹⁷ The current number represents a density of 6.9 EGMs per 1,000 adults, which is the equal third highest in Greater Melbourne. Research indicates that around 14 per cent of Victorian adults use EGMs, which puts the losses per EGM user in Hobsons Bay during 2021-22 at approximately \$3,470.

In 2021-22, more than half of EGMs losses in Hobsons Bay occurred in three venues: Millers Inn Hotel (located in Altona North), Seagulls Nest (Newport) and Club Laverton (Laverton). Combined, these venues attracted \$20.7 million (59.6%) of the \$34.8 million lost. Appendix 11.3 presents the losses at each venue by total (and per EGM) across the year. The Millers Inn had the highest losses in 2021-22, with \$141,317 lost per EGM.

¹⁷ Victorian Gambling and Casino Control Commission (n.d.) Gaming machine regional caps and limits, <https://www.vgccc.vic.gov.au/gambling/gaming-venue-operator/understand-your-gaming-licence/caps-and-limits/gaming-machine> - accessed February 2023.



No.	Name	No.	Name	No.	Name
1	Millers Inn	6	Altona RSL	A	Sanctuary Lakes Hotel
2	Seagull's Nest	7	The Vic Inn	B	Phoenix Hotel
3	Club Laverton	8	Rifle Club Hotel	C	Westside Taverner
4	Altona Sports Club	9	Altona Bowling Club	D	Yarraville-Footscray Bowling Club
5	Koorinal Golf Club			E	Yarraville Club

Figure 1: Gaming venues in and around Hobsons Bay

Online gambling

There has been a substantial increase in spending on online gambling in Victoria in recent years (see Table 3). Data published by the State Revenue Office shows that estimated losses from sport and race betting increased from \$1.65 billion in 2019-20 to \$2.58 billion in 2021-22, an increase of more than 50 per cent in two years.¹⁸ Although data from online gambling is not available at a local level, it is likely that these trends also occurred in Hobsons Bay. The COVID-19 pandemic contributed to this rapid growth, supported by

¹⁸ Victorian Responsible Gambling Foundation (n.d.) Expenditure on gambling in Victoria, <https://responsiblegambling.vic.gov.au/resources/gambling-victoria/expenditure-on-gambling-victoria-and-australia>, accessed February 2023.

significant spending by the gambling industry on advertising, which saw an average of 948 gambling ads broadcast daily on Victorian free-to-air television in 2021.¹⁹

Table 3: Losses from online gambling in Victoria, 2019-20 to 2021-22

Year	Losses (\$ millions)	% change
2021-22	2,578.0	10.6%
2020-21	2,330.6	39.6%
2019-20	1,669.4	n/a

3.3. Vulnerable groups in Hobsons Bay

As noted in Section 3.1, research indicates that some groups are more likely to experience harm from gambling than others. In Hobsons Bay, these groups make up a substantial proportion of the population²⁰, including:

- Older people (aged 60+) make up 21.9 per cent of the population.
- People aged 18 to 34 make up 20.5 per cent of the population.
- People born overseas make up 30.1 per cent of the population
- People with a disability represent 17 per cent of the population²¹

Research also identified indicators of risk that may increase the potential for gambling harm. In Hobsons Bay, the following population groups may be at higher risk of experiencing gambling harm:

- Unemployed adults, who make up 3.5% of the population, with the rate higher in some neighbourhoods²²
- People living in rental properties, who make up 28.4 per cent of households
- Households experiencing rental stress, which make up 24.1 per cent of households living in private rental accommodation²³

¹⁹ Victorian Responsible Gambling Foundation, (n.d.) 948 gambling ads daily on Victorian free to air TV in 2021, <https://responsiblegambling.vic.gov.au/about-us/news-and-media/948-gambling-ads-daily-on-victorian-free-to-air-tv-in-2021/> - accessed February 2023.

²⁰ Unless otherwise noted, all data is sourced from the 2021 Census of Population and Housing - see .id informed decisions (n.d.) *Hobsons Bay City - Community Profile*, .id community demographic resources, <https://profile.id.com.au/hobsons-bay/service-age-groups>

²¹ Estimate based on *Australian Bureau of Statistics (2018) Disability, Ageing and Carers, Australia: Summary of Findings*, <https://www.abs.gov.au/statistics/health/disability/disability-ageing-and-carers-australia-summary-findings> - accessed February 2023.

²² Jobs and Skills Australia, (n.d.) Small Area Labour Markets, <https://www.jobsandskills.gov.au/work/small-area-labour-markets> - accessed February 2023

²³ Housing id, (n.d.) Hobsons Bay City Housing Monitor, <https://housing.id.com.au/hobsons-bay> - accessed February 2023.

- Households in the lowest group for equivalised household income (\$0 to \$602 per week), which make up 23.2 per cent of households
- First nations people make up 0.7 per cent (628 persons) of the population in Hobsons Bay, the same proportion as for Greater Melbourne.
- Households living in Laverton, Altona North, Altona Meadows and Brooklyn, who are more likely to face social and financial disadvantage according to the Socio-Economic Indexes for Areas (SEIFA) Index of Relative Disadvantage.

3.4. Land use considerations

Figure 1 displays the location of the nine gaming venues located in Hobsons Bay, including their spatial relationship to areas of socioeconomic disadvantage. Notably, two of the highest loss venues in Hobsons Bay (Millers Inn and Club Laverton) are in areas of relative socioeconomic disadvantage. There are a further five gaming venues within 2.5 kilometres of Hobsons Bay's municipal borders. Research has shown that people who use EGMs typically travel up to 2.5 kilometres to access a gaming venue.²⁴ Further detail on gaming venues in Hobsons Bay is provided in Appendix 11.3.

The positioning of venues in convenient locations can facilitate the likelihood of gambling harm. Historically, hotels and clubs with EGMs have been in or around activity centres or near local shopping areas. By increasing their visibility, these venues make it convenient to gamble not only for those who gamble occasionally, but also for those being harmed by gambling.

There are a range of other land use factors that contribute to the risk and experience of gambling harm. It is important to understand these factors to ensure they are considered when Council assesses any planning permit applications in relation to EGMs. Key factors include:

- **Location** - the location of gaming venues in convenient and accessible locations can increase the likelihood of people using EGMs and may contribute to the risk and experience of gambling harm. Key factors include current traffic, public transport and pedestrian routes; surrounding land uses; population likely to travel to the area; and existing EGM venues, non-gaming entertainment and other areas where people congregate.
- **Design and operation** – the design and operation of gaming venues and EGMs may contribute to the risk and experience of gambling harm. Key factors include visibility of EGMs from other parts of the venue, placement of EGMs near to toilets, bars and other amenities; lack of natural light; and the provision of inducements to gamble such as raffles, free tickets, cheaper alcohol and food, giveaways and awards/gifts.
- **Alternative entertainment** – people experiencing gambling harm often see EGMs as a social activity. In particular, clubs may become the main social outlet for people

²⁴ Centre for Gambling Research (2004). *Survey of gambling prevalence in Victoria*. ACT: Australian National University.

who are lonely or isolated in the community. A range of gambling and non-gambling entertainment options should be provided within local communities.

These (and other) factors are considered by Council when assessing planning permit applications against Clause 52.28 of the Hobsons Bay Planning Scheme (see Appendix 11.2). Additionally, a Social Impact Assessment must be submitted with any planning permit application to establish a new gaming venue, increase the number of EGMs at an existing venue, or transfer EGMs between two venues in Hobsons Bay.²⁵

The Schedule to Clause 52.28 specifies shopping complexes and strip shopping centres where EGMs are prohibited. This list was most recently updated through Amendment C131 (Updated Planning Scheme & New Residential Zones), which came into effect in February 2022. Through this Policy Statement, the list will be reviewed and updated to ensure it specifies all relevant locations where EGMs are prohibited (see Commitment 7.2.5). Consideration will be given to the activity centres identified in Council's Activity Centre Strategy which range from 'microcentres' (which typically comprise a few shops providing the simplest of convenience shopping and other needs) to 'Major Activity Centres' (which provide a wide range of goods and services).

The schedule also states that gaming venues and machines should be located outside areas that have been identified as Strategic Redevelopment Areas (SRAs). SRAs include precincts identified for rezoning through Council's Industrial Land Management (ILMS) Strategy 2008. The 2008 ILMS is currently undergoing a review and many former SRAs have been rezoned with new planning controls applied. This includes Precinct 15 which is controlled by the Altona North Comprehensive Development Plan (Schedule 2 to Clause 37.02). This Policy Statement aims to ensure that EGMs continue to be prohibited in these locations (former SRAs) as appropriate, and in line with the objectives set out in the Schedule to Clause 52.28 (see Appendix 11.2).

4. Roles and responsibilities

The responsibility for preventing harm from gambling is shared across all levels of government, and within several non-government organisations.

4.1. Commonwealth Government

The Commonwealth Government is responsible for regulating the provision and advertising of online gambling. The *Interactive Gambling Act 2001* establishes a framework for the provision and advertising of online (and telephone) gambling services in Australia.²⁶ The Act makes it illegal for gambling companies to offer some services in Australia, including online casinos, in-play sports betting, and betting on the outcome of a lottery.

²⁵ Hobsons Bay City Council (2022) *Electronic Gaming Machines - Social Impact Assessment Guidelines*, <https://www.hobsonsbay.vic.gov.au/Council/Strategy-Planning/Social-policy-planning/Social-Impact-Assessment-Guidelines> - accessed March 2023.

²⁶ Australian Communications and Media Authority (n.d.) *About the Interactive Gambling Act*, <https://www.acma.gov.au/about-interactive-gambling-act> – accessed February 2023.

In 2018, the Commonwealth Government released the National Consumer Protection Framework for Online Wagering. The Framework introduces a range of harm reduction measures for online gambling such as a voluntary pre-commitment system, prohibition on the promotion of payday lending and small loan providers on gambling websites and apps, and restrictions on the types of inducements that online gambling providers can offer.

In 2018, the Commonwealth Government also introduced the *Broadcasting Services (Online Content Service Provider Rules) 2018*, which banned gambling advertising during live sport that is streamed online between 5am and 8.30pm. These reforms brought online services in line with television and radio broadcasting systems. Despite these changes, the number of gambling ads continues to increase, with a 2022 survey finding that 71 per cent of respondents support a ban on gambling ads on television.²⁷ Most recently, the Commonwealth Government introduced changes to advertising regulations in late 2022, which require online gambling companies to replace the 'gamble responsibly' messaging with a range of new taglines.

4.2. Victorian Government

The Victorian Government is responsible for the regulation of EGMs in Victoria. The *Gambling Regulation Act 2003* governs the operation of EGMs and other gambling products. The Act sets out the responsible Minister's authority to set the maximum allowable number of EGMs in the state (s.3.2.3); regional and municipal caps (s.3.2.4); responsible gambling measures (s.3.4.29-33a); taxes and levies; community benefit statements for club venues (s.3.6.9) and the community support fund for hotels (s.3.6.12).

Under the Act, hotels operating EGMs contribute 8.33 per cent of net gaming revenue to the Community Support Fund, with a total of \$147 million contributed in 2018-19.²⁸ The Community Support Fund provides ongoing operational funding to the Victorian Responsible Gambling Foundation (\$41 million in 2018-19) which is a statutory authority created by Victorian Parliament to prevent gambling harm.²⁹

Club venues operating EGMs are required to provide community benefit to the value or 8.33 per cent of annual net gaming revenue. Each club is required to provide an audited community benefits statement in return for an 8.33 per cent discount on taxes related to the operation of EGMs. The Victorian Government also collects a 'Point of Consumption' tax (currently set at 8 per cent) of the net revenue derived from all online gambling customers located in Victoria.

The Victorian Government also oversees the land-use planning system in Victoria. The *Planning and Environment Act 1987* establishes the framework for planning the use,

²⁷ The Australia Institute (2022) 'Polling – Advertising on TV', <https://australiainstitute.org.au/post/polling-research-give-junk-food-gambling-ads-the-punt> - accessed February 2023.

²⁸ Victorian Government (2019) *Community Support Fund Financial Overview 2018-19*, <https://www.dtf.vic.gov.au/community-support-fund/community-support-fund-financial-overview-2018-19> – accessed February 2023.

²⁹ Victorian Responsible Gambling Foundation (2022) *Our Annual Report 2021-22*, <https://responsiblegambling.vic.gov.au/about-us/annual-report>, accessed February 2023.

development and protection of land in Victoria. Clause 52.28 (Gaming) of the Hobsons Bay Planning Scheme sets out the statewide requirements to be considered in the assessment of planning permit applications in relation to EGMs. The Schedule to Clause 52.28 outlines further matters for consideration in the assessment of applications in Hobsons Bay, including location, venue design and application requirements (see Appendix 11.2).

The Victorian Government oversees the administration of the *Public Health and Wellbeing Act 2008*. Under the Act, the function of a Council is to 'seek to protect, improve and promote public health and wellbeing within the municipal district'. The Act requires Councils to prepare a municipal public health and wellbeing plan, which identifies goals and strategies for creating local communities where people can achieve maximum health and wellbeing. Council's current Municipal Public Health and Wellbeing Plan is incorporated into the Council Plan 2021-25.

4.3. Local Government

Council can play various roles in seeking to prevent harm from gambling. Council will continue to work through the following roles in its efforts to prevent harm from gambling in Hobsons Bay:

- **Leadership and advocacy** – Council plays a key leadership role in promoting the health and wellbeing of our community. This extends to advocacy to the Commonwealth and Victorian Governments to introduce evidence-based harm prevention measures to protect local communities from gambling harm.
- **Planning and regulation** – Council can influence the location of EGMs in local communities through its role in assessing planning permit applications and initiating planning scheme amendments. This includes updating policies in the Hobsons Bay Planning Scheme and assessing applications for new gaming venues or additional EGMs in line with Social Impact Assessment Guidelines and the relevant provisions of the Hobsons Bay Planning Scheme.
- **Providing resources and facilities** – Council supports a wide range of local organisations by providing resources (such as grants and other funding) and facilities (such as community centres and sports grounds). These resources and facilities contribute to healthy communities and a range of alternatives to gambling activities and venues.
- **Research and data** – Council monitors data and supports local research to identify emerging trends and to inform its decision-making and advocacy. It can also promote key findings to continue to 'change the narrative' around gambling harm toward a public health approach.
- **Activities and promotion** – Council delivers a range of activities that provide alternatives to gambling, both online and through Council facilities. It also promotes other community activities, as well as Gamblers Help and other support services.

4.4. Other key stakeholders

There are several stakeholders that Council works with to prevent harm from gambling. For almost a decade, Council has been a Leadership Council with the Alliance for Gambling Reform, a national advocacy organisation with over 60 member organisations. The Alliance advocates to state and federal governments for reform of the gambling industry and to implement evidence-based and public health-focussed harm prevention measures.

As a member of the Victorian Local Governance Association (VLGA), Council also participates in the Local Government Working Group on Gambling, as a part of the VLGA's project on Building Capacity in Councils and Gambling. The Municipal Association of Victoria also has an interest in preventing gambling harm, which is addressed through its Alcohol, Drugs and Gambling forum.

Council also regularly engages with academics and research bodies, including members of Deakin University's Institute for Health Transformation and Monash University's School of Public Health and Preventative Medicine. These institutions are leading research on public health approaches to preventing gambling harm and have strict policies against taking funding from the gambling industry for their work.

The Victorian Responsible Gambling Foundation (VRGF) is a statutory authority that addresses gambling harm in Victoria. The VRGF funds support services such as Gamblers Help programs, as well as preventative and educational programs such as [Libraries After Dark](#) and the [ReSPIN Program](#).

5. Preliminary Engagement

To inform the development of this Policy Statement, Council conducted a series of preliminary engagement activities, including workshops, interviews and an online community poll. Input was provided by service providers, local clubs and community organisations, academics, Gamblers Help services, advocacy bodies, residents, a local gaming venue, and people with lived experience of gambling harm.

The following key themes emerged from preliminary engagement activities:

- Concerns about the negative impact of gambling advertising and sponsorship in exposing children and other vulnerable groups to gambling products and venues.
- Highlighting that gambling harm occurs in the local community more than is known or discussed, and that the impact worsened during the COVID-19 pandemic.
- Highlighting that different forms of gambling have different levels of harm, but all contribute in some way to the 'normalisation' of gambling in community settings.
- Encouraging Council to use the levers available to reduce the number of EGMs in Hobsons Bay, as well as access and exposure to gambling products in community settings and on land and assets owned or managed by Council.
- Highlighting that clubs operating EGMs play a role in supporting local community groups, including through financial support for local sporting clubs. It was noted that this support often takes the form of donations (rather than sponsorships), as well as in-kind support such as meal vouchers and hosting club activities.
- Some community organisations expressed a desire to ensure their clubs engaged in ethical behaviour by not working with the gambling industry.
- Council's advocacy should focus on a range of key issues, including universal pre-commitment systems which require individuals to set time and spending limits, removing misleading EGM design features, and restricting gambling advertising and sponsorship.

Engagement participants consistently expressed the need to reduce exposure to gambling products and venues in community settings and urged Council to help create and promote alternative activities and facilities. Many participants also strongly believed that council had

a role to lead the community in taking a stronger stance towards addressing the normalisation and promotion of gambling.

Below are excerpts from three responses to the community poll, which asked respondents the following question: *How has gambling affected you?* More than 90 per cent of respondents reporting that they had been negatively impacted by gambling.

'[A family member] has gambled away all [their] life savings, twice. It's devastating seeing [them] change so much as [they] dive into depression afterwards, closing off from everyone. I feel so helpless as there is no way for me to stop [them] from doing it again.' (Aged 30-34, Male)

'I feel very angry about the number of pokies venues in Hobsons Bay and how they prey on people. I do not believe that they contribute back into the community to the extent that they are required to.' (Aged, 55-59, Female)

We would like Council to ban any Council owned and or run facility, including all Sports club from advertising, receiving sponsorship or donations from any gambling agency or any form of gambling revenues...Gambling has destroyed many individuals and families, so we urge Council to take a strong lead with our feedback to protect our Community from this pernicious and vile thing. (Aged 55-59, Male)

6. Public health approach

6.1. Defining the issue

Through research and stories of lived experience, we know that gambling causes harm in local communities. Harm extends beyond financial losses, and is disproportionately distributed across the community, with vulnerable groups over-represented as regular users of various harmful gambling products.³⁰ Research also estimated the social cost of gambling in Victoria at \$7 billion in 2014-15, concluding that it is unlikely to deliver net benefits to the Victorian community.³¹

The Victorian and Commonwealth Governments set the direction for the regulation of gambling in Australia, including measures to prevent harm. Over many years, there has been a heavy reliance on changing individual behaviour to prevent harm, which is reinforced through the language of 'problem gamblers' and 'responsible gambling'. This approach focusses attention on the actions of individuals rather than the role of harmful gambling products. Moreover, the 'individual responsibility' approach has been ineffective in reducing harm, with EGM losses in Hobsons Bay now tending upwards, alongside recent increases in online gambling in Victoria.

This Policy Statement adopts a public health approach to addressing gambling harm by tackling the range of factors that impact on health beyond the individual level of lifestyle

³⁰ Armstrong & Carroll (2017). Accessed March 2023.

³¹ Browne et al (2017). Accessed March 2023.

choice.³² A similar public health approach has been used to prevent harm from tobacco in Australia, including plain packaging, health warnings on products, advertising bans, taxation, and banning smoking in public places.³³ There is a growing body of research to support public health approaches to preventing harm from gambling, with the Victorian Responsible Gambling Foundation, academics, health promotion professionals, and numerous Councils adopting this approach in recent years.

6.2. Determinants of gambling harm

A public health approach recognises that health and wellbeing is shaped by a range of factors which influence individual choices and behaviour. The following 'determinants' shape the level of risk and potential for gambling harm in local communities (see Figure 2):

- **Socio-cultural factors** – these factors include who we are, where we live, the way we grew up, and the social settings and norms that impacts our behaviour, e.g. age, gender, cultural background, socioeconomic disadvantage.
- **Environmental factors** – these factors include the accessibility, availability and promotion of gambling products, services, settings and resources that impact our behaviour, e.g. location of gaming venues, ease of access to gambling products, normalisation of gambling in community settings.
- **Commercial factors** – these factors include the economic relationships and transactions between industry, government and local communities, e.g. revenue generated by EGMs for gaming venue operators and state government, advertising of gambling products and venues, financial losses from gambling products, and sponsorships of local clubs and major sporting codes.
- **Political factors** – these factors include the interactions between governments, government agencies, the gambling industry, local communities and other stakeholders that may impact decision making, e.g. legislative and regulatory frameworks, political donations, industry lobby groups, advocacy from local government.

Each of the commitments presented in this Policy Statement address one or more of these determinants of gambling harm (see Appendix 11.5). This alignment between policy

³² Victorian Responsible Gambling Foundation (2015) *Background Paper: Using a Public Health Approach in the Prevention of Gambling-related harm*, <https://responsiblegambling.vic.gov.au/documents/21/using-a-public-health-approach-in-the-prevention-of-gambling-related-harm.pdf> – accessed February 2023.

³³ Australian Government (n.d.) *Tobacco control*, <https://www.health.gov.au/topics/smoking-and-tobacco/tobacco-control> - accessed February 2023.

commitments and the determinants of gambling harm ensures that Council's efforts remain grounded in a public health approach that is supported by data and research.

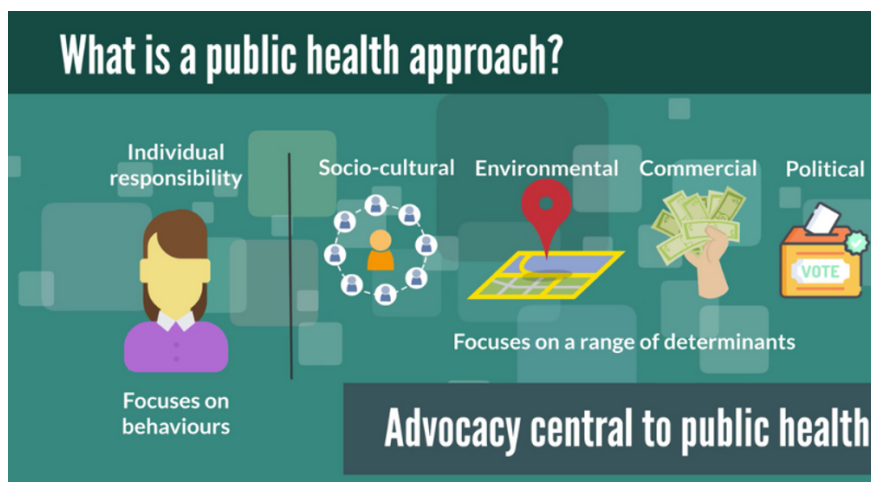


Figure 2: What is a public health approach? (Source: Institute for Health Transformation, Deakin University)

7. Priority areas

Council's Gambling Harm Prevention Policy Statement is built on six priority areas. This section outlines why Council is taking this approach and how it will aim to prevent harm from gambling through each priority area.

7.1. Advocacy

Why is Council taking this approach?

State and federal governments have the capacity to introduce harm prevention measures through legislation and regulation of EGMs and online gambling. However, regulation and legislation are typically based on individual responsibility approaches to harm prevention such as voluntary self-exclusion schemes.

Applying a public health approach, Council will advocate for evidence-based methods to prevent harm from EGMs and online gambling. These include removing harmful EGM design features, restricting gambling advertising and sponsorship, reducing opening hours of gaming venues, enforcing universal precommitment systems to set time and spending limits, and extending regulation to 'loot boxes'³⁴, cryptocurrency and other potentially harmful products.

³⁴ Loot boxes involve 'microtransactions' that occur within online games that provide opportunities to acquire rewards, often purchased with real money. Research has identified that loot boxes apply the same psychological tactics that lead people to experience harm from EGMs – see Gallus, P. (2022) Unlocking loot boxes: gaming hype, or gambling-like?, <https://responsiblegambling.vic.gov.au/about-us/news-and-media/unlocking-loot-boxes-gaming-hype-or-gambling-like-> accessed March 2023.

Council will advocate directly to state and federal governments, including by monitoring regulatory and legislative changes, participating in inquiries and publishing submissions. It will also work with its supporters and partners to support joint advocacy, media coverage and social media campaigns to call for more effective legislative protections and harm prevention measures to create safer environments for our residents.

How will Council do this?

To prevent harm from gambling, Council will:

- 7.1.1. *Advocate to State and Federal Governments for regulatory and legislative reforms that prevent gambling harm in local communities.***
- 7.1.2. *Support the Alliance for Gambling Reform, neighbouring Councils and other key partners to advocate for legislative and regulatory reform to protect local communities from gambling harm.***

7.2. Availability and accessibility of EGMs in Hobsons Bay

Why is Council taking this approach?

We know that the availability and accessibility of EGMs in local communities contributes to the risk and experience of gambling harm. Locations with higher numbers of EGMs tend to experience higher losses. Additionally, increased exposure to EGMs in community settings normalises gambling in local communities, particularly for vulnerable groups such as children and young people.³⁵

Through its land-use planning role, Council applies the relevant provisions of the Hobsons Bay Planning Scheme when assessing planning permit applications relating to EGMs, including requiring the preparation of a Social Impact Assessment. Council may also oppose gaming licence³⁶ applications that do not demonstrate net community benefit.

Applying a public health approach, Council will monitor and (where possible and appropriate) take steps to limit the number and location of EGMs in local communities. At all times, Council will work within existing planning and regulatory frameworks and be guided the impact on the health and wellbeing of local communities.

How will Council do this?

To prevent harm from gambling, Council will:

- 7.2.1. *Oppose any gaming licence application for new gaming venues or additional EGMs in Hobsons Bay that do not provide net community benefit (as measured by an independent Social and Economic Impact***

³⁵ Bestman et al (2017).

³⁶ Under the *Gambling Regulation Act 2003*, any owner of premises seeking to either be approved as suitable for gaming, or a venue operator seeking to amend its licence to increase the number of EGMs in an approved venue, must apply to the Victorian Gaming and Casino Control Commission (VGCCC) for approval. Council has a total of 60 days from receiving the Commission's notification to make a submission, which should cover the economic and social impact of the proposed approval on surrounding Council districts. Further information is available at Victorian Gambling and Casino Control Commission (n.d.) *Hearings*, <https://www.vgccc.vic.gov.au/resources/hearings-and-decisions/hearings> - accessed February 2023.

Assessment). When Council opposes an application, it will adequately resource the representation at the VGCCC and subsequent representation at VCAT hearings, if required.

- 7.2.2. Consider making a submission on any gaming licence application for new gaming venues or additional EGMs in adjacent municipalities that are located within 2.5 kilometres of the municipal border.**
- 7.2.3. Explore opportunities to support gaming venues in Hobsons Bay who express an interest in reducing or removing their EGM entitlements.**
- 7.2.4. Make decisions and provide advice relating to EGMs in accordance with this Policy Statement and the relevant provisions of the Hobsons Bay Planning Scheme, including the Schedule to Clause 52.28 which requires applicants to provide a Social Impact Assessment and specifies locations where EGMs are prohibited.**
- 7.2.5. Update the relevant provisions of the Hobsons Bay Planning Scheme to ensure all existing and planned shopping complexes and shopping strips where new EGM venues are prohibited are listed and mapped, and to encourage any future growth to preferred locations away from activity centres, sensitive land uses, and socioeconomically disadvantaged communities.**
- 7.2.6. Request that any planning application seeking to extend the hours for a liquor licence at a gaming venue in Hobsons Bay include a Social Impact Assessment which considers the community impact of increased access to EGMs.**

7.3. Use of Council assets and facilities

Why is Council taking this approach?

Council assets and facilities play a key role in building healthy communities. Sporting facilities, libraries, and community centres are important community hubs that support health and wellbeing, especially for children, young people, and older people. Council manages lease and licensing agreements with community organisations for the use of land and facilities owned or managed by Council. These agreements are guided by the Hobsons Bay Property Strategy and Hobsons Bay Leasing and Licensing Policy.³⁷

At the same time, the gambling industry sponsor sporting clubs and other groups in local communities, which can have the effect of promoting gambling products and venues. Research indicates that promotion contributes to the 'normalisation' of gambling products

³⁷ The [Hobsons Bay Property Strategy 2021-30](#) aims to ensure that Council property delivers the highest possible public value, while the [Hobsons Bay Lease and Licensing Policy 2021-30](#) aims to ensure a consistent, fair and impartial approach to the allocation and occupation of Council owned or managed properties.

co-located within environments perceived as positive family settings.³⁸ Research has also shown that increased exposure to gambling products and venues increases the risk of harm for vulnerable groups such as children and older people.³⁹

Applying a public health approach, Council will aim to create healthier community settings by limiting the promotion and availability of gambling venues and products within Council-owned or managed land and facilities.

How will Council do this?

To prevent harm from gambling, Council will:

- 7.3.1. Include a clause prohibiting any increase to the number of EGMs when existing leases are renewed for Council owned or managed land or facilities where EGMs are operated. Should the number of EGMs be reduced over the life of the lease, no subsequent increases will be permitted.**
- 7.3.2. Not enter into any new leases or other legal agreements (beyond existing leases, as per 7.3.1) for the use of Council-owned or managed land or facilities which propose to operate electronic gaming machines.**
- 7.3.3. Discourage advertising of gaming venues or gambling products on land that is owned or managed by Council.**
- 7.3.4. Prevent access to gambling websites and explore options to block advertising from major online gambling companies on Council's information technology used by staff and the community.**

Exemptions

- Commitment 7.3.3: Council-owned or managed land which incorporates a gaming venue.

7.4. Access to Council resources

Why is Council taking this approach?

Council provides a range of services, facilities, activities, and other support for local communities. The introduction of 'rate capping', alongside increasing costs to deliver core activities, have placed additional (and ongoing) pressure on Council budgets.

At the same time, losses from EGMs and online gambling continue to increase, with just a small proportion coming back to directly benefit local communities.⁴⁰ Between 2018-19 and

³⁸ Bestman, A., Thomas, S., Randle, M., Pitt, H., Cassidy, R. & Daube, M. (2019) 'Everyone knows grandma: Pathways to gambling venues in regional Australia', *Faculty of Business - Papers (Archive)*, <https://ro.uow.edu.au/buspapers/1675> - accessed February 2023.

³⁹ Thomas, S., Pitt, H., Randle, M., Balandin, S., Cowlishaw, S., McCarthy, S., Bestman, A. & Daube, M. (2020) *Factors that shape the gambling attitudes and behaviours of older adults in Victoria*, Victorian Responsible Gambling Foundation, Melbourne, accessed February 2023.

⁴⁰ Francis, L. & Livingstone, C. (2020) 'Gambling's community contributions: does the community benefit?', *Addiction Research & Theory*, 28:5, 365-378, DOI: [10.1080/16066359.2019.1663834](https://doi.org/10.1080/16066359.2019.1663834), accessed February 2023.

2020-21, just over one per cent of the losses at Hobsons Bay's seven club EGM venues was returned to the community in the form of sponsorships, gifts and donations (see Appendix 11.4). Additionally, gambling industry sponsorship in community settings contributes to the normalisation of gambling through increased exposure to gambling products and venues.

Applying a public health approach, Council will not provide grants, funding and in-kind support (such as community transport) to activities and organisations that promote or derive income from gambling, instead prioritising those that deliver healthier outcomes for local communities. This will help to reduce community exposure to gambling products and venues, while also encouraging and supporting community groups to move away from sponsorship from the gambling industry.

How will Council do this?

To prevent harm from gambling, Council will:

- 7.4.1. Not provide Council grants or funding to organisations that promote or derive income from gambling.**
- 7.4.2. Not provide Council grants or in-kind support to activities that promote gambling or are held in gaming venues.**
- 7.4.3. Not provide Council grants to organisations or activities that receive sponsorships from gaming venues, online betting companies or other gambling providers.**
- 7.4.4. Explore opportunities to consider tenderers' relationship with the gambling industry as an 'assessable criteria' for relevant public tenders offered by Council.**
- 7.4.5. Regularly update rates valuations for all gaming venues in Hobsons Bay.**

Exemptions

- Commitment 7.4.1: Capital grants funding or co-funding (e.g. matching Victorian Government funding) used to deliver new or upgraded Council-owned infrastructure or equipment; operational servicing (e.g. maintenance, repairs) of land or facilities that are owned or managed by Council.
- Commitment 7.4.2: ANZAC Day and Remembrance Day activities supported by Council; raffles, bingo and tipping competitions arranged by community groups for the purposes of raising funds.

Transition period

- Commitment 7.4.1: this commitment will come into effect from 1 July 2025.
- Commitment 7.4.3: this commitment will come into effect from 1 July 2025 (or later for existing long-term contractual arrangements, as required).

7.5. Prevention and Support

Why is Council taking this approach?

Research indicates that increased exposure to gambling products increases the risk and experience of harm from gambling.⁴¹ Prevention programs and support programs play an important role in raising awareness, providing alternative activities, and assisting the recovery of people and families impacted by gambling harm.

Over many years, local gaming venues have come to play a key role in local communities, particularly venues operated by community clubs. These organisations have long-standing local connections, and have broadened their appeal through the provision of affordable and accessible social activities, meals and meeting spaces. However, the presence of gambling products in these settings further normalises the links between gambling and social interactions, particularly in neighbourhoods with limited alternative activities and venues.

Council can play a key role through its capacity to deliver and promote activities, programs and services. Applying a public health approach, Council will support access to available prevention programs and services, including for people of different genders, ages and cultural backgrounds. It will also aim to limit exposure to gambling venues and products and deliver and promote alternative venues and activities.

How will Council do this?

To prevent harm from gambling, Council will:

- 7.5.1. Support and promote gambling support services and programs in local communities.**
- 7.5.2. Deliver and promote activities that provide alternatives to gambling and gaming venues.**
- 7.5.3. Establish partnerships and/or seek external funding to deliver and support activities and programs to prevent harm from gambling.**
- 7.5.4. Not hold council events, activities or programs in gaming venues unless the venue offers a specific setting that is required, and no alternative is available**

7.6. Research and awareness

Why is Council taking this approach?

Community awareness of the causes and impacts of gambling harm are typically understood through an 'individual responsibility' lens, reinforced through gambling advertising and media coverage. Terms such as 'responsible gambling' and 'problem gambling' are commonplace but tend to stigmatise people with lived experience of gambling harm and do little to prevent harm.⁴²

A public health approach aims to re-frame the determinants and impacts of gambling harm, drawing attention to sociocultural, environmental, commercial and political factors. Clear language and stories of lived experience play a key role in this process, alongside locally-

⁴¹ Thomas et al (2020), accessed March 2023.

⁴² Marko S., Thomas S., Pitt H. and Daube M. (2023) 'The impact of responsible gambling framing on people with lived experience of gambling harm', *Frontiers in Sociology* 8:1074773. doi: 10.3389/fsoc.2023.1074773, accessed March 2023.

informed research and balanced analysis of available data on gambling activity and products.

Council can play a key role through its capacity to monitor research and data and presenting this to local communities, including by highlighting the varying risks and impacts for people of different ages and genders. Applying a public health approach, Council aims to re-frame narratives around gambling harm towards underlying causes and impacts and away from perspectives that rely exclusively on the language of 'individual responsibility'.

How will Council do this?

To prevent harm from gambling, Council will:

- 7.6.1. *Change the narrative around gambling harm by raising awareness of its causes and impacts in local communities to staff and the broader Hobsons Bay community.***
- 7.6.2. *Monitor and promote research and data relating to the impact of gambling products and venues in local communities, including expenditure on EGMs and online gambling, Community Benefits Statements, and community attitudes towards gambling.***
- 7.6.3. *Support research (excluding projects funded by the gambling industry) into the impacts of gambling in local communities.***

8. Transition periods

Council recognises that some aspects of this Policy Statement will require measured and balanced implementation to identify and mitigate any potential impacts on local communities. Additionally, preliminary engagement highlighted that some of the commitments will need to be implemented over time to support residents, community groups and other organisations to adjust to new arrangements.

Therefore, Council will apply transition periods to facilitate some of these changes. Over this time, Council will inform any impacted groups and provide support to adjust to Council's new policy settings. As highlighted in the Priority Areas, the following policy commitments will come into full effect from 1 July 2025:

- *7.4.1 – Council will not provide Council grants or funding to organisations that promote or derive income from gambling.*
- *7.4.3 – Council will not provide Council grants to organisations or activities that receive sponsorships from gaming venues, online betting companies or other gambling providers.*

9. Implementation and monitoring

This Policy Statement will guide Council's ongoing efforts to prevent harm from gambling in Hobsons Bay. It complements Council's other plans, policies and strategies, including the Council Plan 2021-25 (incorporating the Municipal Public Health and Wellbeing Plan), Hobsons Bay 2030 Community Vision, Hobsons Bay Property Strategy 2021-30, Hobsons Bay Leasing and Licensing Policy 2021-30, and A Fair Hobsons Bay for All 2019-23.

An internal implementation plan will outline key actions, which will be informed by available resources, current priorities, and emerging issues and opportunities. Where additional

resources are required, these will subject to Council's annual budget processes and/or external funding opportunities.

Progress will be monitored and reported via Council's existing processes, which may include the Annual Report and/or other public reporting methods. The implementation plan may also be reviewed and updated as actions are completed and/or new priorities arise.

The Policy Statement will be reviewed within five years from the date of Council adoption (or earlier, if required) to ensure it takes account of contemporary policy and funding contexts and relevant Council plans, policies and strategies. The internal implementation plan will continue to guide operational activities until any future updated Policy Statement is endorsed by Council.

10. Response to legislative requirements

10.1. Gender Equality Act 2020

As per the requirements of the *Gender Equality Act 2020*, Council is required to prepare a Gender Impact Assessment (GIA) for all new and updated programs, policies and services that have a direct and significant public impact. GIAs help us to think critically about how policies, programs and services will meet the different needs of women, men and gender diverse people.

Research and Findings

Gambling harm is known to impact people of all genders, both directly (as the affected individual) and through family members or friends (as an affected other). In developing this Policy Statement, research was undertaken to better understand the key issues for people of different genders and who is most at risk of being harmed by gambling in Hobsons Bay.

- **Family Violence** – There is a link between gambling harm and family violence. Research indicates that, while gambling does not directly cause intimate partner violence, it reinforces the gendered drivers of violence to intensify the frequency and severity of intimate partner violence against women.⁴³ Research also highlights the prevalence of economic abuse of women experiencing gambling-related intimate partner violence. Additionally, it identifies that gaming venues serve as safe spaces for women, and that in many areas there are few alternatives.
- **Men** - Men are significantly more likely to experience harm from their own gambling than women (1% per cent of men vs. 0.5 per cent of women experience significant harm from gambling).⁴⁴ More severe gambling harm is particularly prevalent in young men (25-44 years old).⁴⁵ However, it should also be noted that men play a more

⁴³ Hing, N., O'Mullan, C., Nuske, E., Breen, H., Mainey, L., Taylor, A., & Rawat, V. (2020) *The relationship between gambling and intimate partner violence against women* (Research report, 21/2020). Sydney: ANROWS - accessed March 2023

⁴⁴ Rockloff, M., Browne, M., Hing, N., Thorne, H., Russell, A., Greer, N., Tran, K., Brook, K. & Sproston, K. (2020) *Victorian population gambling and health study 2018–2019*, Victorian Responsible Gambling Foundation, Melbourne - accessed February 2023

⁴⁵ Ibid.

prominent role in organisations that derive income from gambling. For example, an analysis of 'approved associates' for gaming venues in Hobsons Bay (typically board/committee members or management staff) showed that around 70 per cent were male.⁴⁶

- **First Nations people** – A 2014 study found that Indigenous men experience gambling harm more than Indigenous Women.⁴⁷
- **Income** - Data from the 2021 Census shows that 53 per cent of women in Hobsons Bay are in the two lower income quartiles for equivalised individual weekly income (\$0-399; \$400-799), compared to 38 per cent of men.⁴⁸ This vulnerability increases the risk of harm.⁴⁹
- **Homelessness** – Older women are one of the fastest growing groups experiencing homelessness in Australia. Between 2011 and 2016, the number of women aged 55 years and above experiencing homelessness grew from 5,234 to 6,866, a 31 per cent increase.⁵⁰ Additionally, in 2019-20, 62 per cent of the specialist homelessness service clients in Hobsons Bay were female.⁵¹

Recommendations

Based on the research and findings outlined above, the following recommendations have been implemented in the development of this Policy Statement:

1. *A broad 'gender lens' has been applied to seek and consider the experience, knowledge and lived experience of women, men, and gender diverse people.*
2. *Community and stakeholder engagement has sought input from people of different genders, as well as service providers that interact with a range of groups at risk of gambling harm.*
3. *Commitments included in the updated Policy Statement take account of people of different genders, and implementation will include targeted actions where required.*

⁴⁶ Victorian Gambling and Casino Control Commission, (n.d) *Licence Information*, <https://www.vgccc.vic.gov.au/resources/information-and-data/licence-information> - accessed March 2023.

⁴⁷ Hing, N., Breen, H., Gordon, A., & Russell, A. (2014) 'Gambling among Indigenous men and problem gambling risk factors: An Australian study', *International Journal of Mental Health and Addiction*, accessed March 2023

⁴⁸ .id informed decisions (n.d.) *Hobsons Bay City - Community Profile*, *.id community demographic resources*, <https://profile.id.com.au/hobsons-bay/service-age-groups> - accessed February 2023.

⁴⁹ Rockloff, M. et al (2020) - accessed February 2023

⁵⁰ Australian Bureau of Statistics (2018) *Census of Population and Housing: Estimating homelessness 2016*, Cat. No. 2049.0

⁵¹ Australian Institute of Health and Welfare (2020) *Specialist homelessness services annual report 2019-20*, AIHW, Australian Government, accessed February 2023.

11. Appendices

11.1. Definitions

The following terms are used in this Policy Statement as defined below:

- **Council funding** – allocations made directly to organisations through Council's annual budget process. For the purposes of Commitment 7.4.1 of this Policy Statement, this does not include Capital Works funding or co-funding, i.e. allocations for new or upgraded Council-owned facilities such as buildings and pavilions
- **Council grant** – non-recurrent funding provided through a grants program administered by Council.
- **Donations** – funding provided to one organisation or group from another as an act of 'goodwill.' In the context of the gambling industry, this is often for the purposes of community benefit to offset the negative impacts of gambling.
- **Electronic Gaming Machine (EGM)** – the *Gambling Regulation Act 2003* defines an electronic gaming machine as 'any device, whether wholly or partly mechanically or electronically operated for the purpose of playing a game of chance or a game of mixed chance and skill'.⁵² EGMs are commonly known as 'poker machines' or 'pokies.'
- **Gambling** - the Victorian Responsible Gambling Foundation states that gambling (also known as betting) 'requires a player to risk losing something of value (usually money) for the chance of winning more. Gambling outcomes may depend on correctly predicting an uncertain outcome (such as a particular horse coming first in a race) or luck (such as a winning combination of symbols on a pokie machine).'⁵³
- **Gambling harm** – research commissioned by the Victorian Responsible Gambling Foundation found that '[g]ambling related harm can be divided into seven key areas: Financial harm, relationship disruption, emotional or psychological distress, decrements to health, cultural harm, reduced work or study performance, and criminal activity. These harms can further be considered as general harms (which occur at any time), crisis harms, which are associated with attempts to seek help, and legacy harms, which occur long after gambling has ceased.'⁵⁴
- **Gambling industry** – the gambling industry includes (but is not limited to) organisations that derive income from gambling products and activities, including gaming venues, gaming venue operators, and online gambling companies. This

⁵² Victorian Government (2003) *Gambling Regulation Act 2003*, Version 97 (effective 10 March 2023), <https://www.legislation.vic.gov.au/in-force/acts/gambling-regulation-act-2003/087>, accessed February 2023.

⁵³ Victorian Responsible Gambling Foundation (n.d.) *Glossary*, <https://responsiblegambling.vic.gov.au/resources/glossary>, accessed February 2023.

⁵⁴ *ibid.*

definition extends to peak organisations and industry groups that aim to advance their interests.

- **Gaming Venue** - an establishment where licensed EGMs are present and operational.
- **Gaming Venue Operator** – an entity (such as a company or club) holding a venue operator licence enabling it to operate EGMs in Victoria.
- **Lease** - an agreement that grants a tenant exclusive possession of Council property for a specified period of time, subject to certain terms and conditions and creates an interest in land that is binding on third parties which is capable of being assigned.
- **Lessee** - a person (or other entity) who is granted a lease.
- **License** - an agreement that grants non-exclusive use of Council land/property for a specific period and subject to certain terms and conditions; it does not create any estate or interest in or over the licensed premises.
- **Licensee** - a person (or other entity) who is granted a license.
- **Loot boxes** – loot boxes involve ‘microtransactions’ that occur within online games that provide opportunities to acquire rewards, often purchased with real money. Research has identified that loot boxes apply the same psychological tactics that lead people to experience harm from EGMs.
- **Online Gambling** – online gambling refers to websites and products that allow gambling activities to be conducted on the internet using technology such as computers or mobile phones. Typically, users gamble on sporting or racing activities, but there is an increasing range of options available, including elections and reality television.
- **Social and Economic Impact Assessment** – a Social and Economic Impact Assessment (SEIA) aims to identify the extent to which a gaming licence application (typically for additional EGMs) will affect the wellbeing of local communities. Councils may commission an independent SEIA to inform its decision as to whether to oppose any gaming licence application within its municipal borders. In practice, there are many similarities between a SEIA and a Social Impact Assessment (see below).
- **Social Impact Assessment** – a Social Impact Assessment (SIA) aims to identify the extent to which a planning application relating to EGMs will affect community health and wellbeing (including amongst disadvantaged groups) and whether it will provide a benefit or cost to the Hobsons Bay community. In 2022, Council adopted new SIA Guidelines that will be applied to any future planning approval processes. In practice, there are many similarities between a SIA and a Social and Economic Impact Assessment (see above).
- **Sponsorship** - funding provided to one organisation from another in return for public advertising or promotion. Sponsorship typically includes the display of the sponsor’s name and/or logo on physical materials (e.g. signage, clothing, written materials) or online content (e.g. website, social media).

11.2. Schedule to Clause 52.28 Gaming

1.0 Objectives

To ensure that the social and economic impact of the Electronic gaming machine (EGM) is not detrimental to the wellbeing of the community.

To ensure that EGM venues are located, designed and operated in a manner that minimises opportunities for convenience gambling.

To locate EGMs away from disadvantaged areas or vulnerable communities.

To ensure gaming is not the primary use within a venue.

To ensure proposals for gaming premises deliver a net community benefit in Hobsons Bay.

2.0 Prohibition of a gaming machine in a shopping complex

Installation or use of a gaming machine as specified in Clause 52.28-4 is prohibited on land described in Table 1 below.

Name of shopping complex and locality	Land description
Central Square, Altona Meadows	Land on the southwest corner of Central Avenue and Merton Street, also known as 1-23 Central Avenue, Altona Meadows
Altona Gate, Altona North	Land on the northwest corner of Beuron Road and Millers Road, also known as 124-134 Millers Road, Altona North including 84-122 Millers Road, Altona North

3.0 Prohibition of a gaming machine in a strip shopping centre

A gaming machine as specified in Clause 52.28-5 is prohibited in a strip shopping centre specified in Table 2 below.

Name of strip shopping centre and locality	Land description
Aviation Road, Laverton	1-9 (odd numbers) and 2-28 (even numbers) Aviation Rd; 161-163 (odd numbers) Railway Ave; 2-8 (even numbers) Neville Ave
Borrack Square, Altona North	1-39 (odd numbers) and 2-40 (even numbers) Borrack Square; 202-204 (even numbers) Millers Rd
Challis Street, Newport	31-47 (odd numbers) and 44-56 (even numbers) Challis St
Douglas Parade/Ferguson Street, Williamstown	2-102 (even numbers) and 7-97 (odd numbers) (including land at the rear of 87) Ferguson St; 1-111 (odd numbers) and 4-110 (even numbers) (including land at the rear of 32-36 (even numbers)) Douglas Pde; 32-36 (even numbers) Lyons St; 101 Napier St; 4-10 (even numbers) Roaches Terrace; 64-68 (even numbers) and 77-83 (odd numbers) Stevedore St; land at the rear of 85 Stevedore St; 72-74 (even numbers) Electra St; 1-17 (odd numbers) and 2-14 (even numbers) Coxs Garden; 2-16 (even numbers) and 15-27 (odd numbers) (including land at the rear of 27) Wellington St; 166-168 (even numbers) Aitken St
Harrington Square, Altona	1-31 Harrington Square; 116-188 Maidstone St
Hudsons Road, Spotswood	29 Hope St; 68-98 (even numbers) and 79-101, 139, 145A and 145B (odd numbers) (excluding the rear of 87-97 (odd numbers)) Hudsons Rd and 606-612 Melbourne Rd
Millers Junction, Altona North	24-42 Cabot Drive and 290-298 Millers Road

Newport Junction, Newport	1-5 (odd numbers), 2-26 (even numbers) and 17-33A (odd numbers) Mason St; 33-37 (odd numbers); 1 Susman St; 1-46A Hall St (excluding land at the rear of 15 Hall St); 314-344 (even numbers) and 405-455 (odd numbers) Melbourne Rd; 1 Walker St
Pier Street, Altona	18-122 (even numbers) (including the 3 lots at the rear of 122) and 39-121 (odd numbers) Pier St; 9 and 19 Bent St; 112-122 (even numbers) Queen St; 66-92 (even numbers) Railway St Sth; 137 and 153 The Esplanade
Somers Parade, Altona	45 Maidstone St and 3-31 (odd numbers) Somers Parade
The Circle, Altona North	9-13 (odd numbers) and 25-75 (odd numbers) The Circle
The Range, Williamstown North	71-79 (odd numbers) Kororoit Creek Rd
Woods Street, Laverton	44-68 (even numbers) Woods St; 2-18 (even numbers) Lohse St; 36-38 (even numbers) Maher St
Vernon Street, South Kingsville	15-41 (odd numbers) and 30-36 (even numbers) Vernon St

4.0 Locations for gaming machines

Gaming venues and machines should be located:

- On sites that minimise the likelihood of people passing the venue in the course of their usual business or everyday activities.
- Outside areas that are either:
 - Of relative socio-economic disadvantage. Socio-economic disadvantage is defined as households in the bottom two deciles (lowest 20 per cent) of the SEIFA (Socio-Economic Indexes for Areas) index of relative disadvantage, based on the Australian Bureau of Statistics, Statistical Area Level 1 (SA1) which is the smallest unit of Census data.
 - Identified as Strategic Redevelopment Areas in the Strategic Framework Plan at Clause 02.04.

5.0 Venues for gaming machines

Gaming machines should be located:

- In venues that:
 - Provide a range of social, leisure and recreational activities, with gaming being only a component of these activities.
 - Physically and visually separate the venue's gaming activities from its non-gaming activities.
- Where the design and operating hours will not detrimentally affect the amenity of the surrounding area.
- Outside of venues where:
 - The gaming floor area is more than 25 percent of the total floor area.
 - It may cause adverse amenity impacts on the adjoining land uses as a result of operating hours, traffic, noise, car parking and safety.

6.0 Application requirements

The following application requirements apply to an application for a permit under Clause 52.28, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- Detailed plans of the design and layout of the venue (including the location of all existing and proposed EGMs).

- Details of the venue's existing and proposed hours of operation.
- A Social Impact Assessment prepared by a suitably qualified person, as per Council's Social Impact Assessment Guidelines (Hobsons Bay City Council, March 2011), including:
 - Details and analysis of the venue's projected patron catchment and its socio-economic profile.
 - If it is proposed to move EGMs from one part of the municipality to another, details of the relative social and economic differences between the two areas. An explanation as to why the EGMs are being transferred is to be provided.
 - Characteristics of the local area including the location of and distance to shopping complexes and strip shopping centres, community facilities, public housing, counselling services and public transport.
- Details of existing and proposed gambling and non-gambling related entertainment and recreation facilities and activities at the venue and within one kilometre of the venue.
- Details of existing and proposed distribution and density of EGMs in the municipality and its neighbourhoods.
- Details of existing gaming expenditure at the venue over a three year period prior to the application (if relevant).
- If EGMs are to be relocated from other venues, and as a result, gaming expenditure is likely to be transferred from other venues:
 - Particulars as to how the level of expenditure transfer has been calculated (including, but not limited to, comparison of per machine expenditure at the venue prior to, and anticipated expenditure after, the installation of additional machines).
 - The resulting impacts on the venue from where the expenditure is transferred.
- Details of the nature and extent of community benefits expected from the proposal and how the benefits are to be secured for and distributed across the local community.
- Assessment of key social and economic issues and overall net community impact.
- Measures to mitigate any negative social and economic impacts from EGMs.

7.0 Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 52.28, in addition to those specified in Clause 52.28 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the proposal will result in a net social and economic benefit, aside from any community contribution scheme.
- Whether the proposal increases EGM densities in the area and how that increase affects the local community and compares with the metropolitan Melbourne average.
- Whether the proposal will result in EGMs clustering in the area and whether this is likely to increase the social disadvantage of the area.
- Whether the venue offers a range of non-gambling entertainment and recreation options.
- Whether the location, design and operation of the venue will facilitate convenience gambling.
- Whether the proposal will impact on the amenity of the area and surrounding land uses.

11.3. EGM venues in Hobsons Bay

No.	Venue	Operator	Type	2019-20 (open 266 days)			2020-21 (open 207 days)			2021-22 (open 269 days)		
				EGMs	Total (\$)	Daily (\$)	EGMs	Total (\$)	Daily (\$)	EGMs	Total (\$)	Daily (\$)
1	Millers Inn Hotel	ALH Group Pty. Ltd.	Hotel	70	10,036,521	37,731	70	6,459,931	31,207	70	9,892,214	36,774
2	Seagulls Nest	Williamstown Football Club	Club	66	5,405,309	20,321	66	4,378,237	21,151	66	5,501,175	20,450
3	Club Laverton	Carlton Football Club Ltd.	Club	60	4,744,242	17,835	60	4,062,027	19,623	60	5,359,666	19,924
4	Altona Sports Club	Altona Sports Club Inc.	Club	83	3,268,206	12,286	83	2,298,352	11,103	83	3,160,764	11,750
5	Koorungal Golf Club	Koorungal Golf Club	Club	61	2,953,728	11,104	61	2,607,682	12,597	61	3,080,997	11,454
6	Altona RSL	Altona RSL Sub-Branch Inc.	Club	50	2,470,289	9,287	58	1,989,539	9,611	58	2,703,998	10,052
7	The Vic Inn	Carlton Football Club Ltd.	Club	60	2,380,470	8,949	60	1,800,009	8,696	60	2,637,488	9,805
8	Rifle Club Hotel	ALH Group Pty. Ltd.	Hotel	39	1,982,642	7,454	40	1,420,893	6,864	40	1,393,267	5,179
9	Altona Bowling Club	Altona Bowling Club Inc.	Club	37	1,370,252	5,151	37	873,140	4,218	37	1,100,281	4,090
	Totals			526	34,611,659	130,119	535	25,889,811	125,072	535	34,829,849	129,479

11.4. Summary of Community Benefits Statements

	2018-19		2019-20		2020-21	
	Total (\$)	% of Losses	Total (\$)	% of Losses	Total (\$)	% of Losses
Class A: Direct community benefits						
(a) Donations, gifts and sponsorships (including cash, goods and services)	327,113	1.06%	245,552	1.09%	182,769	1.01%
(b) Cost of providing and maintaining sporting activities for use by club members	793,474	2.56%	596,597	2.64%	591,908	3.29%
(c) Cost of any subsidy for the provision of goods and services but excluding alcohol	364,809	1.18%	342,093	1.51%	197,390	1.10%
(d) Voluntary Services provided by members and/or staff of the club to another person in the community	86,070	0.28%	48,040	0.21%	32,610	0.18%
(e) Advice, support and services provided by the RSL to ex-service personnel, their carers and families	11,047	0.04%	8,525	0.04%	9,593	0.05%
Sub-Total (Class A)	1,582,513	5.11%	1,240,807	5.49%	1,014,270	5.63%
Class B: Indirect community benefits						
(a) Capital expenditure	210,555	0.68%	23,271	0.10%	123,422	0.69%
(b) Financing Costs (including principal and interest)	0	0.00%	65,756	0.29%	94,425	0.52%
(c) Retained earnings accumulated during the year	0	0.00%	0	0.00%	0	0.00%
(d) Provision of buildings, plant and equipment over \$10,000 per item ⁵⁵	0	0.00%	115,620	0.51%	22,028	0.12%
(e) Operating costs, e.g. wages, electricity, rates	6,354,150	20.53%	6,184,065	27.37%	5,635,972	31.30%
Sub-Total (Class B)	6,564,705	21.21%	6,388,712	28.28%	5,875,847	32.63%
Class C: Miscellaneous						
(a) Provision of responsible gambling measures and activities but excluding those required by law	0	0.00%	0	0.00%	0	0.00%
(b) Reimbursement of expenses reasonably incurred by volunteers	1,310	0.00%	823	0.00%	0	0.00%
(c) Community Benefits Statement preparation and auditing expenses	9,415	0.03%	6,465	0.03%	6,492	0.04%
Sub-Total (Class C)	10,725	0.03%	7,288	0.03%	6,492	0.04%

⁵⁵ Excluding gaming equipment or the gaming machine area of the venue.

Total (Class A + Class B + Class C)	8,157,943	26.35%	7,636,807	33.80%	6,896,609	38.30%
EGM Losses (Clubs only)	30,957,590		22,592,496		18,008,987	

11.5. Mapping commitments against determinants of gambling harm

No.	Commitment	Determinant of gambling harm
7.1.1	Advocate to State and Federal Governments for regulatory and legislative reforms that prevent gambling harm in local communities.	Political, Commercial
7.1.2	Support the Alliance for Gambling Reform, neighbouring Councils and other key partners to advocate for legislative and regulatory reform to protect local communities from gambling harm.	Political, Commercial, Socio-cultural
7.2.1	Oppose any gaming licence application for new gaming venues or additional EGMs in Hobsons Bay that do not provide net community benefit (as measured by an independent Social and Economic Impact Assessment). When Council opposes an application, it will adequately resource the representation at the VGCCC and subsequent representation at VCAT hearings, if required.	Environmental, Socio-cultural, Commercial
7.2.2	Consider making a submission on any gaming licence application for new gaming venues or additional EGMs in adjacent municipalities that are located within 2.5 kilometres of the municipal border.	Environmental, Socio-cultural, Commercial
7.2.3	Explore opportunities to support gaming venues in Hobsons Bay who express an interest in reducing or removing their EGM entitlements.	Commercial, Environmental, Socio-cultural
7.2.4	Make decisions and provide advice relating to EGMs in accordance with this Policy Statement and the relevant provisions of the Hobsons Bay Planning Scheme, including the Schedule to Clause 52.28 which requires applicants to provide a Social Impact Assessment and specifies locations where EGMs are prohibited.	Environmental, Socio-cultural, Commercial
7.2.5	Update the relevant provisions of the Hobsons Bay Planning Scheme to ensure all existing and planned shopping complexes and shopping strips where new EGM venues are prohibited are listed and mapped, and encourage any future growth to preferred locations away from activity centres, sensitive land uses, and socioeconomically disadvantaged communities.	Environmental, Socio-cultural, Commercial
7.2.6	Request that any planning application seeking to extend the hours for a liquor licence at a gaming venue in Hobsons Bay include a Social Impact Assessment which considers the community impact of increased access to EGMs.	Environmental, Socio-cultural, Commercial
7.3.1	Include a clause prohibiting any increase to the existing number of EGMs when leases for Council owned or managed land or facilities are due for renewal where EGMs are operated. Should the number of EGMs be reduced over the life of the lease, no subsequent increases will be permitted.	Commercial, Environmental, Socio-cultural
7.3.2	Not enter into any new leases or other legal agreements for the use of Council-owned or managed land or facilities which propose to operate electronic gaming machines.	Commercial, Environmental, Socio-cultural
7.3.3	Discourage advertising of gaming venues or gambling products on land that is owned or managed by Council.	Commercial, Environmental, Socio-cultural

7.3.4	Prevent access to gambling websites and explore options to block advertising from major online gambling companies on Council's information technology used by staff and the community.	Environmental, Socio-cultural, Commercial
7.4.1	Not provide Council grants or funding to organisations that promote or derive income from gambling.	Commercial, Environmental, Socio-cultural
7.4.2	Not provide Council grants or in-kind support to activities that promote gambling or are held in gaming venues.	Environmental, Socio-cultural, Commercial
7.4.3	Not provide Council grants to organisations or activities that receive sponsorships from gaming venues, online betting companies or other gambling providers.	Environmental, Socio-cultural, Commercial
7.4.4	Explore opportunities to consider tenderers' relationship with the gambling industry as an 'assessable criteria' for relevant public tenders offered by Council.	Commercial, Environmental
7.4.5	Regularly update rates valuations for all gaming venues in Hobsons Bay.	Commercial, Environmental
7.5.1	Support and promote gambling support services and programs in local communities.	Environmental, Socio-cultural
7.5.2	Deliver and promote activities that provide alternatives to gambling and gaming venues.	Environmental, Socio-cultural
7.5.3	Establish partnerships and/or seek external funding to deliver and support activities and programs to prevent harm from gambling.	Environmental, Socio-cultural
7.5.4	Not hold council events, activities or programs in gaming venues unless the venue offers a specific setting that is required, and no alternative is available.	Environmental, Socio-cultural, Commercial
7.6.1	Change the narrative around gambling harm by raising awareness of its causes and impacts in local communities to staff and the broader Hobsons Bay community.	Political, Environmental, Socio-cultural
7.6.2	Monitor and promote research and data relating to the impact of gambling products and venues in local communities, including expenditure on EGMs and online gambling, Community Benefits Statements, and community attitudes towards gambling.	Political, Environmental, Socio-cultural
7.6.3	Support research (excluding projects funded by the gambling industry) into the impacts of gambling in local communities.	Environmental, Socio-cultural

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13. Further information

For further information on Council's Gambling Harm Prevention Policy Statement, please contact Council's Social and Strategic Planning team on **1300 179 944** or email socialplanning@hobsonsabay.vic.gov.au

14. Document control

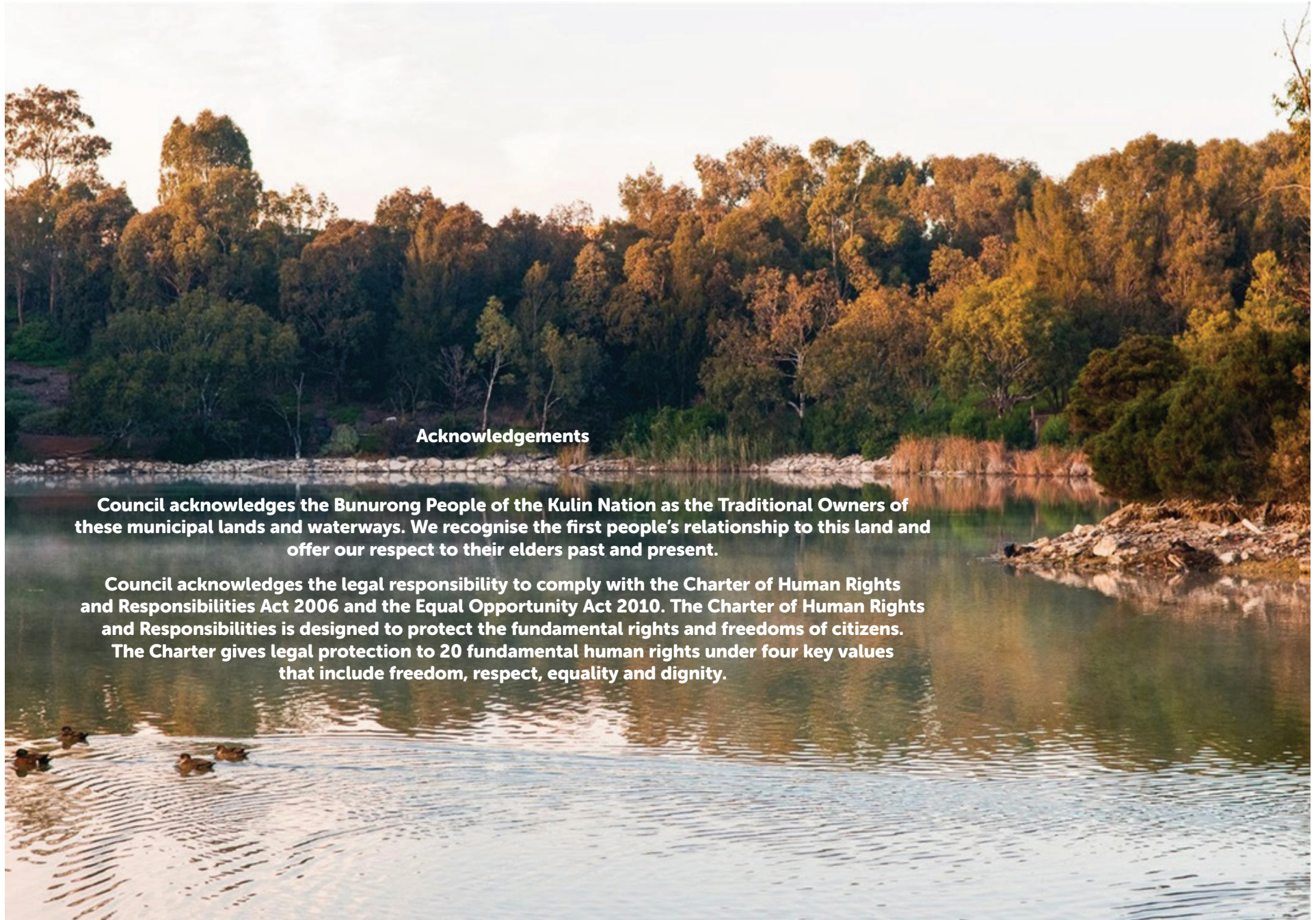
Policy Name	Draft Gambling Harm Prevention Policy Statement
Object ID	
Agility Document Number	
Responsible Directorate	Sustainable Communities
Policy Owner	Strategy, Economy and Sustainability
Policy Type	Policy Statement
Date Adopted by Council	
Review Date	

15. Version history

Version Number	Date	Authorised by
1.0	May 2023	

HOBSONS BAY PUBLIC TOILET STRATEGY 2023 TO 2033





Acknowledgements

Council acknowledges the Bunurong People of the Kulin Nation as the Traditional Owners of these municipal lands and waterways. We recognise the first people's relationship to this land and offer our respect to their elders past and present.

Council acknowledges the legal responsibility to comply with the Charter of Human Rights and Responsibilities Act 2006 and the Equal Opportunity Act 2010. The Charter of Human Rights and Responsibilities is designed to protect the fundamental rights and freedoms of citizens.

The Charter gives legal protection to 20 fundamental human rights under four key values that include freedom, respect, equality and dignity.

EXECUTIVE SUMMARY

This Public Toilet Strategy (PTS) will guide the development and management of public toilets in Hobsons Bay during the ten years 2023 – 2033.

Council recognises that the provision of public toilets is critical to enable all members of the community, and visitors to the municipality, to use public spaces and participate in community life.

Council currently provides and manages 37 public toilet facilities. This stock comprises predominantly free-standing facilities located in parks, activity centres and along the Yarra River and Port Phillip Bay foreshores. Council also provides public toilets within many of its community facilities (e.g. libraries, senior citizens, sports pavilions), however the PTS does not address the management of these.

Existing public toilets are located in a variety of contexts and are of significantly varying age, style and standard, and provide a range of levels of amenity. In recent years, numerous facilities have been updated, and new facilities added to the stock.

Purpose

The purpose of the Public Toilet Strategy is to guide the provision and management of public toilet facilities in the appropriate places to encourage community health, participation and recreation, while supporting economic development. The PTS includes:

Criteria for determining where to provide public toilets, and what types of toilet to provide

An evaluation framework to guide decision-making about the provision of public toilets

A 10-year program of projects (upgrades, replacements and new installations) prioritised according to the evaluation framework

An additional program of Changing Places

Principles and guidelines for the planning and development of toilets

An indication of the anticipated budgetary implications of these actions

A commitment to adequate cleaning and servicing to ensure facilities are presentable and well maintained

Key Recommendations

The key recommendations for the future development and management of Council's toiletstock are:

- Continue to progressively replace or upgrade older, substandard toilets
- Develop Changing Places in key locations to support people with higher support needs, their families, and carers
- Introduce a program of upgrades to the existing toilet stock with a focus on compliance and signage
- Assess future toilet needs and requests against a new evaluation framework to ensure improved strategic alignment in decision-making
- Introduce an annual program of demand and use audits to improve information used in decision-making
- Conduct a review of all existing toilets to ensure facilities are fit for purpose, safe and inclusive.
- Establish a set of robust principles to guide planning and development of toilets
- Establish a clear, documented process for making decisions, and implementing projects
- Allocate a consistent annual budget to ensure completion of recommended works within the ten year currency of the Strategy

Review of existing facilities

A review of Council's existing public toilets was undertaken in 2021, including consultation with Council officers responsible for the development and management of toilets. The review found that, while older facilities were of poor standard, generally the numerous newer facilities are providing much better service and amenity to the community.

Challenges in the development of new facilities include:

- Internal and external consultation
- Coordination of service connections
- Post occupancy management
- Design detail:
 - Some paths are not fully compliant for wheel-chairs and walking frames
 - The required luminance contrast may not have been achieved between elements of the facility
 - Some signage is not fully compliant
 - Some materials and fittings are performing poorly
 - The detailing and installation of doors has presented management challenges in coastal locations where strong winds are experienced

Accessibility

The development of the Strategy involved a review of

contemporary attitudes and practice in the achievement of equitable access to public toilets. Significant progress has been made in ensuring that people of all abilities are able to access toilets. It is now legislated that toilets must conform to AS1428: Design for access and mobility.

An emerging issue that presents access challenges to some people is the safety and accessibility of public



toilets due to being gender specific. Traditional practice is for signage to indicate whether facilities are intended for males, females or both sexes using a pictogram. Such signage reinforces stereotypes of women and men (e.g. women wear dresses) and discriminates against people who are gender diverse. It may even result in harassment and/or physical harm. Using modern non-discriminatory signage is supported by AS1428: Design for access and mobility.

It is recommended that Council:

- Conduct a review of all existing toilets and signage for unisex toilets to ensure facilities are fit for purpose, safe and inclusive.
- Depending on the result of this investigation, institute an ongoing program focussed on compliance and signage to address these issues.

Evaluation Framework

A framework and process have been developed for evaluating and prioritising new toilet requests and proposals. Key steps at the beginning of any proposal are:

1 Determine whether there is an existing toilet that can service the area.

2 Evaluate and score the proposal against key decision-making criteria in the evaluation framework:

- Demand
- Strategic alignment
- Context and siting analysis.

3 Undertake a feasibility analysis and preliminary siting exercise to determine:

- that a toilet can be sited:
 - > safely
 - > without compromising the amenity of the location
- that site services are available and accessible

4 Undertake community consultation (noting that consultation may be part of larger project)

5 Depending on the findings of the community consultation, proceed with design development, documentation, tendering and construction.

Implementation

The Strategy recommends that over the next ten years Council:

- Demolish 2 existing substandard toilets
- Replace or upgrade 2 existing toilets
- Install 15 new public toilets

In addition, seven sites have been identified for the recommended development of Changing Places¹:

- Bruce Comben Reserve, Altona Meadows
- McCormack Park, Laverton
- Altona Beach - Weaver Reserve, Altona (upgrade to existing facility)
- Williamstown Beach (Sadler Reserve), Williamstown
- Commonwealth Reserve, Williamstown
- Cherry Lake Reserve, Altona
- Newport Lakes Reserve, Newport

In addition, the following matters require further analysis and advocacy:

- Council is currently advocating for the development of the Hobsons Bay Wetland Centre to be developed at Truganina Park/Laverton Creek, Altona Meadows. Consideration will be given to the inclusion of public toilets and Changing Places within this facility.
- The toilet block adjacent to Laverton Active Hall is likely to require upgrading or replacement within the life of this strategy, however this should be considered in the context of planning for broader service and facility development.
- The toilet at the Altona Coles car park may require redevelopment.

¹ Changing Places are facilities that are larger than standard accessible toilets with a height adjustable adult-sized change table, a tracking hoist and space for two people either side of a peninsula toilet.

Budget Framework

There are a number of aspects to the funding of public toilets:

- ➔ Operational - Cleaning and maintenance
- ➔ Capital - New and refurbishment

It is recommended that additional allocations be made for:

- ➔ Operational - Annual usage audit
- ➔ Capital – Compliance and signage upgrades

A tranche of possible projects for evaluation was identified by a combination of Council officer recom-

mendation, investigation and community suggestions. These were scored using the evaluation framework, and anticipated costs identified to provide an overview of the funding requirements over the life of this strategy.

Seventeen possible toilet projects were evaluated and scored against the criteria established in the evaluation framework. Out of a possible maximum score of 15, the proposals received scores ranging from 8 – 14. The scores have also been applied in a sensitivity test to guide prioritisation of projects depending on budget availability. Should allocation of funding fall short of that anticipated for the implementation of all projects, then low scoring projects may be cancelled or deferred.

Table 1: Proposed public toilets actions 2023-2033

	Full program	Sensitivity test - Evaluation score	
		Exclude sites scoring < 10	Exclude sites scoring < 11
Anticipated 10 year cost	\$3,685,000	\$2,985,000	\$2,460,000
Anticipated annual cost	\$368,500	\$298,500	\$246,000

Table 2: Proposed annual budget framework

Item	Model	Value
Operational		
Annual usage audit		\$10,000
Cleaning and maintenance	Standard	\$300,000
	Exeloo	\$170,000
Total operational		\$480,000
Capital		
Compliance and signage improvement program		\$10,000
New and refurbishment		\$246,000 - \$368,500
Total capital		\$256,000 - \$378,500*

Changing Places are anticipated to cost approximately \$170,000 each x 7 = \$1,190,000. Council can choose to fund these facilities itself, however, given that the State Government may provide funding for the development of Changing Places, the costs of these have not been included in the budget calculation.

Table 3: Proposed Priority List 2023-2033

	Site	Suburb	Score	Priority	Action	Type - Size	CP
1	Bruce Comben Reserve	Altona Meadows	14	High	New	Traditional - Large	✓
2	Newport Park	Newport	13	High	New	Traditional - Large	✓
3	Ford Reserve	Altona	13	High	Demolish	N/A	
4	Borlack Square	Altona North	13	High	New	Automated - Single	
5	Hudson's Road	Spotswood	12	High	New	Automated - Single	
6	Donald McLean Reserve	Spotswood	11	High	New	Traditional - Large	
7	Williamstown Botanical Gardens	Williamstown	11	High	New	Traditional - Bespoke	
8	The Circle	Altona North	11	High	New	Automated - Single	
9	W G Cresser Reserve	Seaholme	N/A	High	Demolish or upgrade	N/A	
10	G Den Dulk Reserve	Altona	10	Medium	New	Traditional - Small	
11	Homestead Run Reserve	Seabrook	10	Medium	New	Traditional - Small	
12	Langshaw Reserve	Altona North	10	Medium	New	Traditional - Small	
13	Leo Hoffman Reserve	Newport	9	Medium	New	Traditional - Small	
14	Warmies Boat Ramp	Newport	N/A	Medium	Replace or upgrade	Automated - Single	
15	Sadler Reserve	Williamstown	9	Low	New	Traditional - Large	✓
16	DN Duane Reserve	Brooklyn	9	Low	New or use pavilion	Traditional - Small	
17	Hobson Bay Wetland Centre	Altona Meadows	9	Low	New	Traditional - Large	
18	R J Cooper Reserve	Altona North	8	Low	New	Traditional - Small	
19	Harrington Square	Altona	N/A	Low	Replace or upgrade	Automated - Single	

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1 INTRODUCTION

Hobsons Bay City Council recognises that the provision of public toilets is critical to enable all members of the community to use public space and participate in community life.

The provision and management of public toilets has significant social and budgetary implications, both capital and operational. It is therefore critical that Council have a robust and sophisticated framework for making decisions about the location and design of toilets to ensure that the public benefit is maximised and that the provision of toilets represents value for money.

This strategy supersedes the previous version that was prepared in 2013.

1.1 Purpose

The purpose of the Public Toilet Strategy is to establish a framework for the provision and management of public toilet facilities in the appropriate places to encourage community health, participation and recreation, while supporting economic development.

1.2 Hobsons Bay

The City of Hobsons Bay is situated at the northern end of Port Phillip Bay, about 7kms west of central Melbourne. Hobsons Bay is known for its rich natural environment, its maritime history and its industrial strength.

The Yalukit Wilum clan were the first people to occupy the area now known as Hobsons Bay. A number of sites of significance to the Aboriginal community are located throughout the municipality, particularly along



the coastal trail. Council recognises the Bunurong People of the Kulin Nation as the Traditional Owners of these municipal lands and waterways.

Hobsons Bay was created on 22 June 1994, following the amalgamation of the former Cities of Williamstown and Altona with parts of Laverton and South Kingsville.

It includes the suburbs of Altona, Altona Meadows, Altona North, Brooklyn, Laverton, Newport, Seabrook, Seaholme, South Kingsville, Spotswood, Williamstown and Williamstown North. Each suburb has its own unique character, from the historic seaport of Williamstown with its range of heritage buildings, to the more recently developed residential areas of

Altona Meadows and Seabrook. Hobsons Bay also has a range of major industrial complexes, which contribute significantly to the economy of Victoria.

Hobsons Bay is unique to the Western Metropolitan Region. It covers an area of approximately 64 square kilometres with over 20kms of coastline. It is also home to significant coastal wetlands, five creek systems, remnant native grasslands, and important flora and fauna habitats, which makes up 24 per cent of the city's total land area.



1.3 Policy Context

This section sets out the key Council policy documents that have guided the development of this strategy, and that in turn will be supported by the implementation of the Strategy.

Hobsons Bay 2030 Community Vision



Council Plan 2021 – 25

The Council Plan 2021 – 25 establishes the following objectives:

1 HEALTHY, EQUITABLE AND THRIVING COMMUNITIES	Be a city where all members of the community can participate equitably, feel safe, connected and achieve good health and social wellbeing.
2 VALUING OUR ENVIRONMENT	Foster a sustainable way of living in response to climate change through active involvement in alternative energy use, reduction of waste, enhancement and conservation of our natural environment.
3 VIBRANT PLACE AND ECONOMY	Support a resilient local economy that facilitates job growth and retention, promoting Hobsons Bay as a place to live, work, invest, recreate and visit.
4 VISIONARY COMMUNITY INFRASTRUCTURE	Develop and maintain infrastructure to promote liveability, planning for the future need and growth of the community, while preserving heritage, environment and neighbourhood character.
5 A HIGH PERFORMING ORGANISATION	Delivering value for money through efficient processes, digital transformation and continuous improvement with a willingness to try new approaches as to how we do, what we do. We will be transparent and responsive to the needs of the community through meaningful connection, communication and engagement.

A Fair Hobsons Bay for All 2019–23

A Fair Hobsons Bay for All 2019-23 aims to increase fairness and equity for people who live, work, learn and play in Hobsons Bay. It prioritises populations who may be more likely to experience disadvantage, including people with a disability, culturally and linguistically diverse communities, women and girls, and LGBTIQ+ communities.

The policy establishes key objectives for supporting these priority populations by supporting access for all people within amenities, public infrastructure, community facilities, housing and neighbourhoods, and ensuring that everyone has equitable opportunities to access the foreshore and open space. These objectives also align with the Victorian Governments State Disability Plan *Inclusive Victoria: State Disability Plan 2022-26* and Universal Design principles.

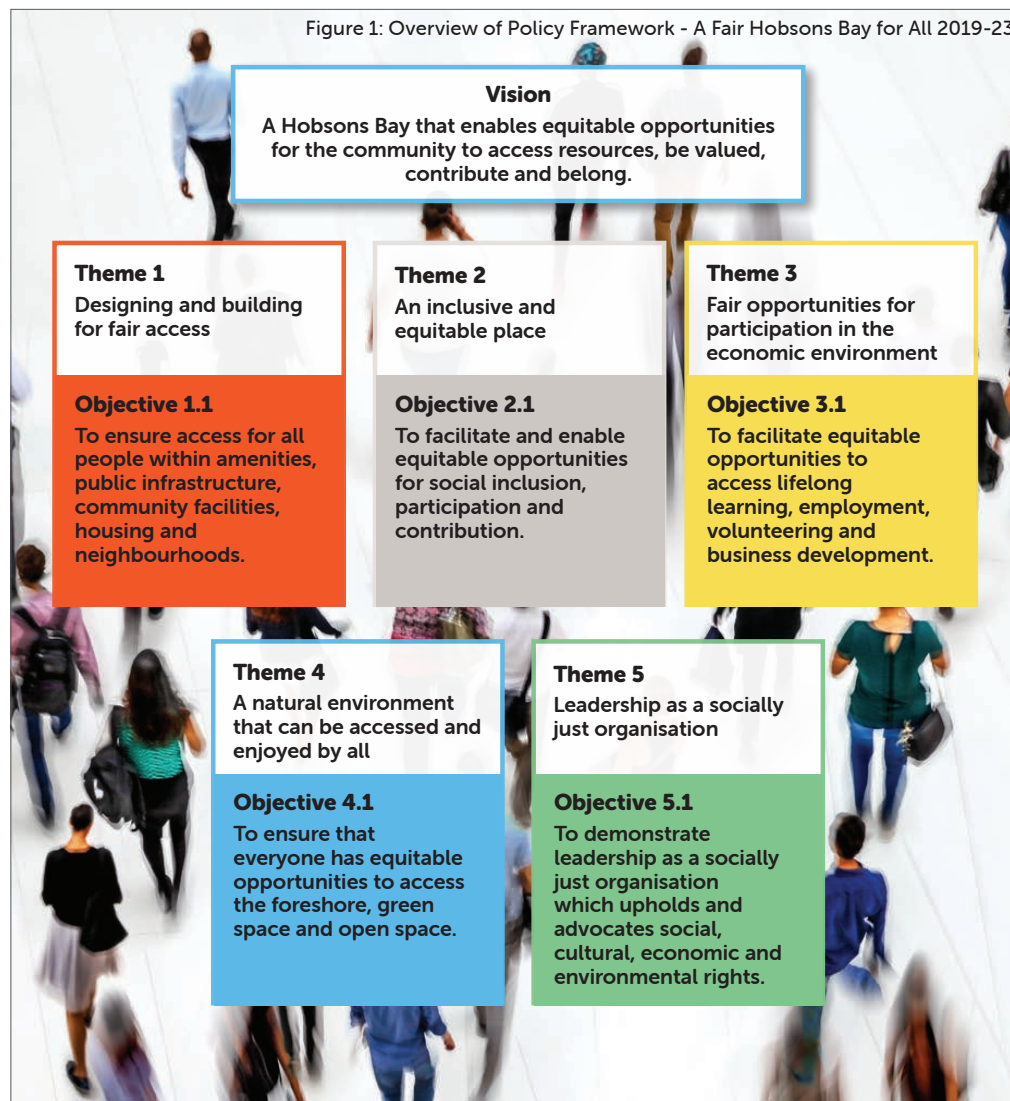
Universal Design Policy Statement for Council buildings & the public realm, 2017

The purpose of this document is to provide Council with guidance on how the design of buildings and the public realm can improve accessibility through the use of Universal Design principles:

1. Equitable use
2. Flexibility in use
3. Simple and intuitive use
4. Perceptible information
5. Tolerance of error
6. Low physical effort
7. Size and space for approach and use

In relation to public toilets the policy states the need for universal access, and references *AS1428.1 - 2009 Design for access and mobility* in achieving this.

Figure 1: Overview of Policy Framework - A Fair Hobsons Bay for All 2019-23



Open Space Strategy 2018-28

The Hobsons Bay Open Space Strategy is Council's key document that guides the provision, protection, planning, design and management of open space. The Strategy defines an open space hierarchy for Hobsons Bay, and classifies its open spaces under that hierarchy.

The Strategy also determines the toilet service standards to be provided within the hierarchy of Council managed parks and reserves, based on the size, function, catchment, length of stay of each space, and other key features and infrastructure.

Activity Centres Strategy 2019-36

The Hobsons Bay Activity Centres Strategy (HBACS) outlines a vision for Hobsons Bay's activity centres, and sets out eleven directions, supported by strategies, and place-based policies and actions, to bring this vision to fruition as population grows. The appropriate provision of public toilets within the hierarchy of activity centres plays a critical role in achieving the vision.

Economic Development Strategy 2015-2020

The Economic Development Strategy contains an aspiration that Hobsons Bay will become a community that is characterised by high quality activity centres that meet the needs of local businesses, residents and visitors.

The provision of public toilets in high level activity centres will support this vision.

Experience Hobsons Bay: Tourism Strategy 2019-2024

Experience Hobsons Bay: Tourism Strategy 2019-2024 notes the importance of the visitation to the local economy, and includes an objective to improve visitor experiences.

The provision of public toilets in high demand locations will support this ambition.

1.4 Council's Role

Hobsons Bay currently provides and manages approximately 37 public toilet facilities.² These are located in a variety of contexts and are of significantly varying age, style and standard, and provide a range of levels of amenity.

Council's role in providing public toilets comprises:

- ➔ Planning, prioritising and budgeting for toilet construction and upgrades
- ➔ Servicing and maintenance – reactive and planned
- ➔ Decommissioning and demolishing toilets that are at the end of their useful life, or that are no longer required.

² This number is predominantly freestanding toilets located in parks and shopping strips, and a small number that are attached to other facilities.

1.5 Public Toilets to which this strategy applies

The facilities that are covered by this strategy are those that are managed independently of Council community and sporting facilities:

- Freestanding facilities
- Facilities that are attached to other structures, but managed independently of management of that facility or service.

This strategy does not apply to:

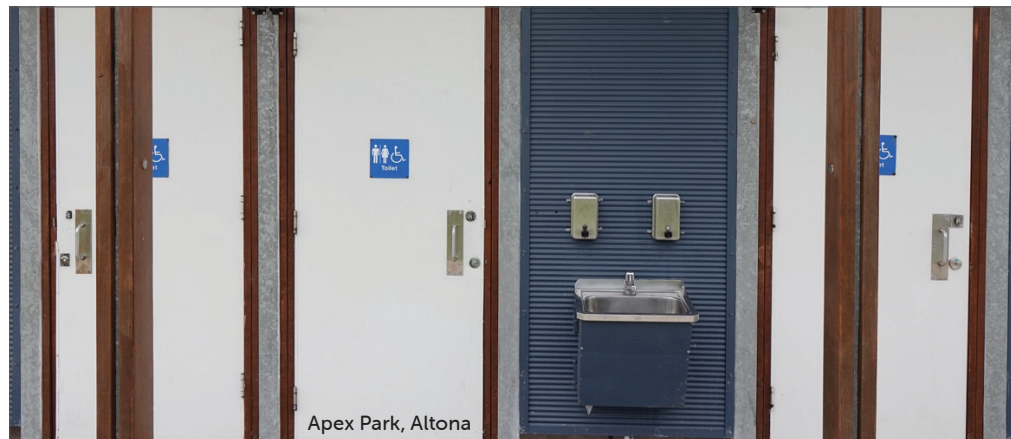
- Private public toilets - Toilet facilities that are owned and maintained by private entities including shops, local businesses, cafes, restaurants and service stations
- Service-hosted public toilets - Public toilet facilities associated with Council facilities or buildings including libraries and sporting pavilions. These types of toilets are not directly accessible by the public and may require users to pass through a service point.



1.6 Methodology/Process

This strategy was developed via the following process and tasks:

- Consultation with Council staff
- A tour of the municipality and inspection of a range of toilets and their contexts
- Review of relevant background documents, policies and strategies, including the previous Public Toilet Strategies (2007, 2013)
- Review of contemporary thinking and practices in the provision of public toilets, including Council's obligations under the Gender Equality Act 2020 to promote gender equality in policies, programs and services that affect the public
- Preparation of Background Report
- Phase 1 community consultation, including discussions with a number of advocacy groups
- Development of this draft Public Toilet Strategy



1.7 Glossary

Accessible

Accessible toilets are specifically designed to provide enough space to accommodate wheelchair access and assistance when transferring from wheelchair to toilet. Accessible toilets include features such as lower mirrors and washbasins, contrasting toilet seat colour, grab rails and braille signage.

Activity Centre

Areas that provide a focus for services, employment, housing, transport and social interaction. They range in size and intensity of use from smaller neighbourhood centres to major suburban centres and larger metropolitan centres. (Plan Melbourne 2017-50).

All-gender

All-gender toilets are facilities that can be safely used by everyone irrespective of gender. They also better able parents to use a public toilet with a child of the opposite gender. Some All-gender toilets incorporate additional facilities e.g. accessible toilets, baby changing facilities, or showers.

Ambulant toilet

Ambulant toilets are specifically designed for those with ambulant disabilities that do not require the extra space that is provided by Accessible toilets. Primarily, they are for those that do not require the use of a wheelchair, for example, those with sensory loss, arthritis or require the use of a walking frame.

Changing Places

Changing Places are facilities that are larger than standard accessible toilets with a height adjustable adult-sized change table, a tracking hoist and space for two people either side of a peninsula toilet.

Exeloo

Brand name: modular automated toilet for which there is a single supplier in Victoria - WC Innovations.

Gender-segregated

Gender-segregated toilets are facilities that are designed and signed to be used by people according to whether they are male or female. They are signed with the relevant male or female gender symbol.

2 BACKGROUND

Hobsons Bay is committed to providing public toilets to support active participation in community life and the public realm.

2.1 Existing Conditions

Hobsons Bay currently provides and manages 37 public toilet facilities. This stock comprises predominantly free-standing facilities located in parks, shopping centres and along the Yarra River and Port Phillip Bay foreshores. Council also provides public toilets within many of its community facilities (eg libraries, sports pavilions), however the PTS does not address the management of these.

Council's existing stock has been developed in response to understandings of need and to achieve the objectives of inclusivity and the commitment to providing public toilets to support active participation in community life and the public realm. Existing public toilets are located in a variety of contexts and are of significantly varying age, style and standard, and provide a range of levels of amenity.

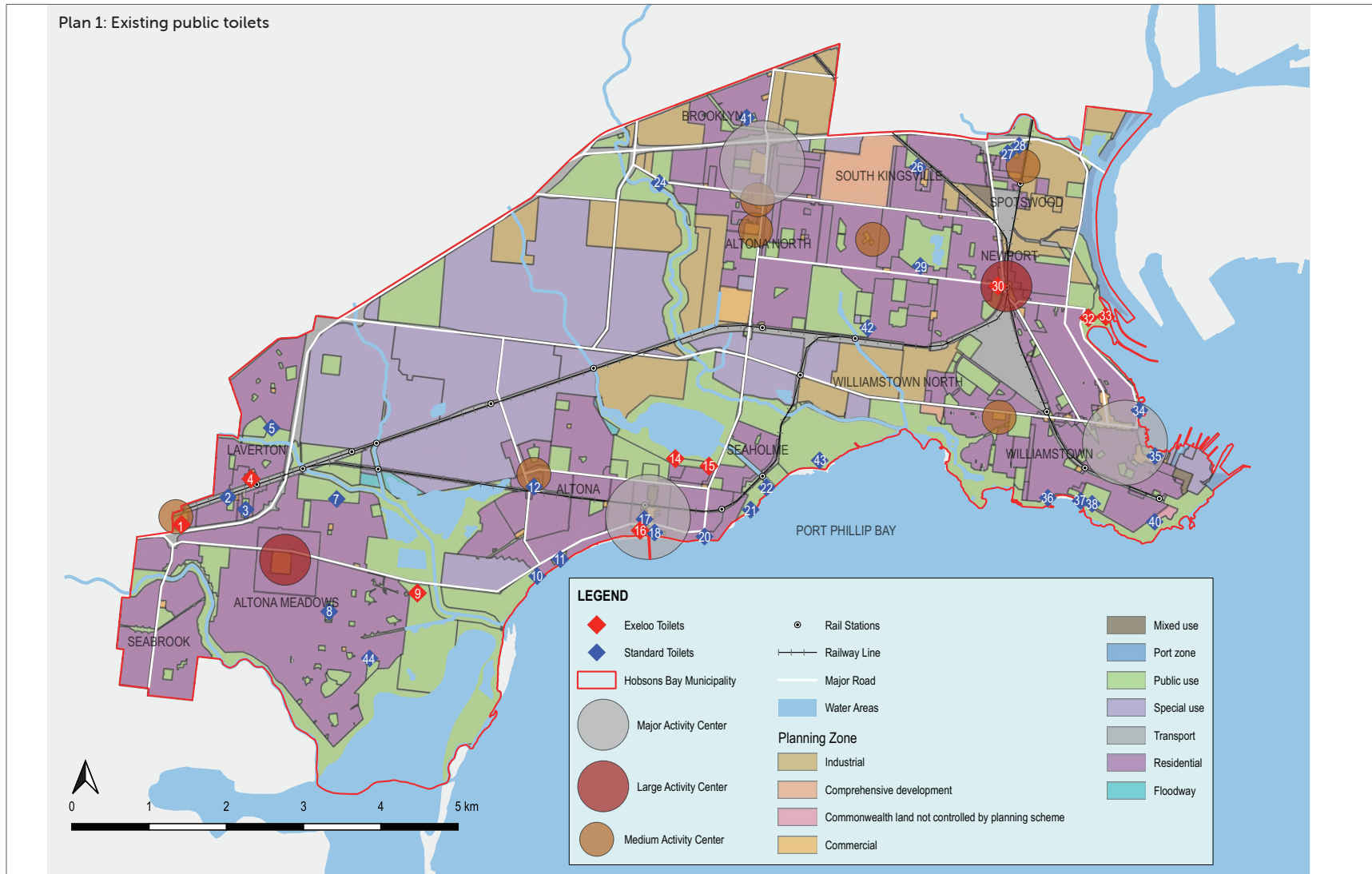


Table 4: Current provision of public toilets by location

Site*	Suburb	Site*	Suburb
10 Apex Park	Altona	10 Lohse Street Reserve	Laverton
43 P A Burns Reserve	Altona	43 McCormack Park	Laverton
15 Cherry Lake Park	Altona	15 Greenwich Reserve Public Toilet	Newport
17 Coles Carpark	Altona	17 Newport Lakes	Newport
Ford Reserve	Altona	Newport Bus Stop	Newport
14 Fresno St	Altona	14 Warmies Boat Ramp	Newport
12 Harrington Square	Altona	12 Altona Boat Ramp	Seaholme
16 Logan Reserve	Altona	16 R Frazer Reserve	Seaholme
11 G H Ransom Reserve	Altona	11 W G Cresser Reserve	Seaholme
18 Weaver Reserve	Altona	18 Edwards Reserve	South Kingsville
8 Altona Meadows Community Park	Altona Meadows	8 Commonwealth Reserve	Williamstown
9 H D Graham Reserve	Altona Meadows	9 Fearon Reserve	Williamstown
7 A B Shaw Reserve	Altona Meadows	7 L E Burgoyne Reserve (Parks Vic)	Williamstown
44 Tatman Reserve	Altona Meadows	44 Point Gellibrand Coastal Heritage Park (Parks Vic)	Williamstown
24 G J Hosken Reserve	Altona North	24 Williamstown Beach (Surf Lifesaving Club)	Williamstown
42 Blenheim Road Reserve	Altona North	42 Williamstown Beach (Sebastians)	Williamstown
41 Brooklyn Reserve	Brooklyn		
1 Aviation Road	Laverton		
2 Laverton Active Hall	Laverton		
3 Curlew Park	Laverton		

* Note that this facility numbering is aligned with that in Council's PT database and that there are gaps in the numbering.

Plan 1: Existing public toilets



2.2 Annual expenditure

In the ten years up to June 2022 Council spent approximately \$2.69 million on public toilet construction and upgrades, equalling approximately \$270,000 / annum.

Table 5: Comparison of municipal public toilet provision

Municipality	Area Km ²	Population*	No. Toilets	Toilets/ 10 Km ²	Toilets/ 100,000 ppl	Comment
Bayside	50	174,378	62	12.40	3.5555	
Brimbank	123	208,714	12	0.98	0.5749	
Darebin	54	161,609	58	10.74	3.5889	
Glen Eira	39	153,858	85	21.79	5.5246	Includes sports facilities
Hobsons Bay	64	96,470	41	5.78	3.8354	
Manningham	113	125,508	34	3.01	2.7090	
Maribyrnong	31	91,387	9	2.88	0.9848	10 Proposed
Yarra	20	98,521	35	17.95	3.5525	

* Year varies 2019-2021

2.3 Toilet provision benchmark

To provide a perspective on Council's provision of public toilets, Hobsons Bay has been compared to a number of Melbourne metropolitan municipalities. This comparison shows that Hobsons Bay is about average in the number of facilities that it currently provides per 10 km² and high in the number per 100,00 people.

2.4 Regulatory Framework

There is a range of legislation and regulation governing the design and construction of public toilets, including the Victorian Building Act 1993, the Building Regulations 2018, the National Construction Code 2019, the Disability Discrimination Act 1992, Australian Standard 1428.1-2009 Design for access and mobility, and the Gender Equality Act 2020.

Disability Discrimination Act 1992

The Disability Discrimination Act (DDA) makes it against the law for public places to be inaccessible to people with a disability.

AS 1428.1 Design for access and mobility

AS 1428.1 *Design for access and mobility* details the requirements for both 'accessible' and 'ambulant' toilets as follows:

Accessible toilets are specifically designed to provide enough space to accommodate wheelchair access and assistance when transferring from wheelchair to toilet. Accessible toilets include features such as lower mirrors and washbasins, contrasting toilet seat colour, grab rails and braille signage.

Ambulant toilets are specifically designed for those with ambulant disabilities that do not require the extra space that is provided by Accessible toilets. Primarily, they are for those that do not require the use of a wheelchair, for example, those with sensory loss, arthritis or require the use of a walking frame.



Altona Boat Ramp

Victorian Building Act 1993, the Building Regulations 2018, the National Construction Code 2019

The Victorian Building Act sets out the framework for the regulation of building construction, building standards and the maintenance of specific building safety features.

The objectives of the Victorian Building Act are to:

- protect the safety and health of people who use buildings and places of public entertainment;
- improve the amenity of buildings.

The purpose of the Victorian Building Act includes to regulate building work, building standards, plumbing work, plumbing standards and to regulate building practitioners and plumbers.

Gender Equality Act 2020

The Act promotes gender equality by:

- Requiring local councils to take positive action towards achieving workplace gender equality
- Requiring these organisations to consider and promote gender equality in their policies, programs and services
- Establishing the Public Sector Gender Equality Commissioner to provide education, support implementation and enforce compliance

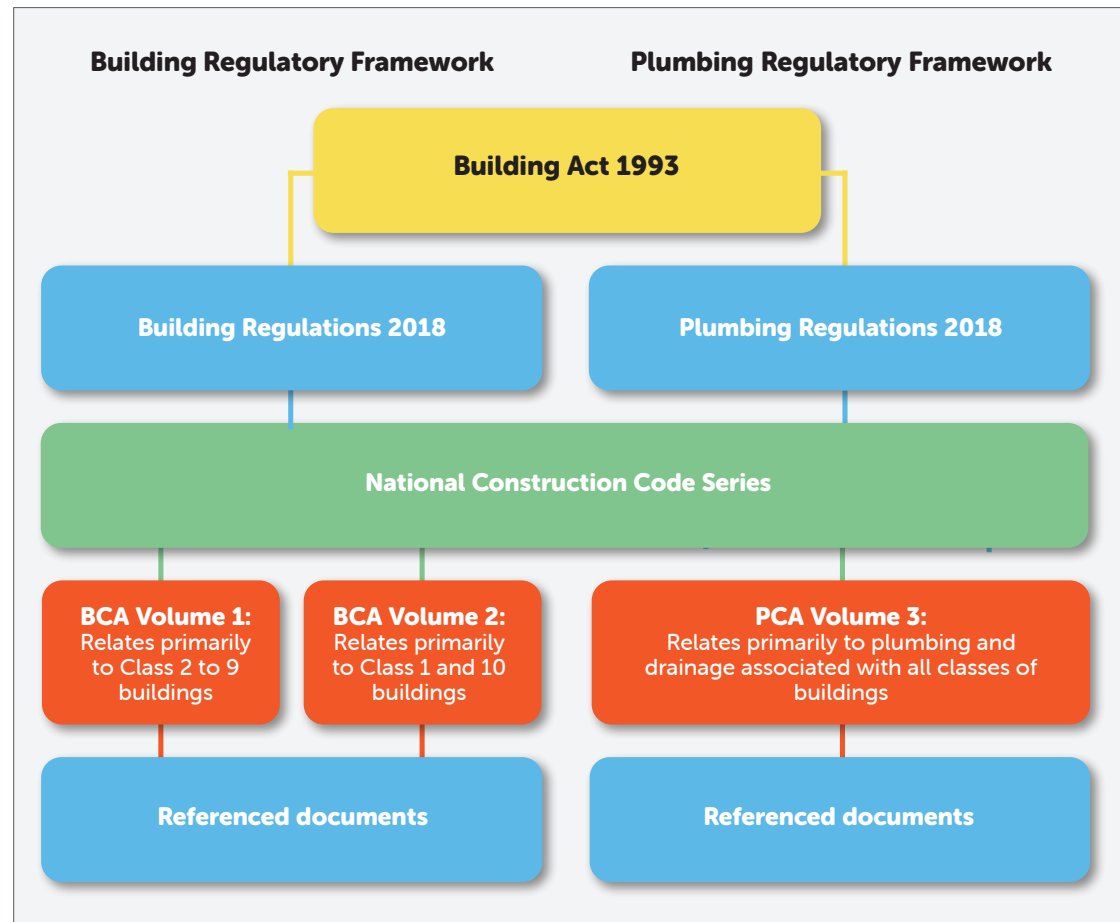


Figure 2: Building Regulatory Framework www.vba.vic.gov.au/building/regulatory-framework

2.5 Gender Impact Assessment

The Victorian Gender Equality Act 2020 requires public sector organisations to undertake gender impact assessments (GIAs) to assess how their policies, programs and services affect people of different genders to ensure that their work does not unintentionally reinforce inequalities.

Section 6(8) of the Act outlines that “gender inequality may be compounded by other forms of disadvantage or discrimination that a person may experience based on Aboriginality, age, disability, ethnicity, gender identity, race, religion, sexual orientation and other attributes.” This concept is referred to as “intersectional gender inequality”.

A Gender impact assessment + (+ = intersectionality) is designed to help organisations think critically about how policies, programs and services will meet the different needs of women, men and gender diverse people, and that intersectionality recognises that the causes of disadvantage or discrimination do not exist independently, but intersect and overlap with gender inequality, magnifying the severity and frequency of the impacts while also raising barriers to support.

The purpose of gender impact assessment is to create better and fairer outcomes, and make sure all people have equal access to opportunities and resources. There is flexibility in the approach to GIAs to meet obligations under the Gender Equality Act 2020.

As part of Council’s commitment to gender equality, the review of the Public Toilet Strategy was selected to include a trial GIA+ in late 2021 before broader Council rollout. A Gender Impact Assessment template was used with four steps to guide and prompt thinking and direction, including.

1. Define the issues and challenge assumptions
2. Understand the context
3. Options Analysis
4. Make recommendations

Through this process, Council consulted representatives from a variety of leading advocacy, social services and community groups representing diverse communities such as the LGBTQI+, culturally and linguistically diverse people (CALD), women and children, people with disability, and people experiencing homelessness.

Some of the key lessons from the GIA+ process and the impacts on diverse communities’ access to public toilets include:

- For some people, there are structural, societal, cultural, and physical barriers to accessing and using public toilets
- Some people have experienced discrimination, harassment and violence due to their sexuality, gender, sex characteristics, race, ability, and age, when using public toilets
- Public toilet provision traditionally favours normative gender conventions and may unintentionally exclude diverse communities
- Certain toilet configurations and design features may make some users feel unsafe, unwelcome, confused, and fail to meet specific needs
- Signage and information may discriminate, confuse, or exclude diverse communities

In response to this assessment it is recommended that Council:

- Determine a standard practice for the configuration of cubicles that best achieves a balance between inclusivity, practicality and value for money.
- Conduct a review of all existing toilets to ensure facilities are fit for purpose, safe and inclusive.
- Depending on the result of this review, institute an ongoing program focussed on compliance and signage to address these issues.



2.6 Population Forecasts

In 2022 Hobsons Bay's population is 101,749. This is forecast to increase by 8% to 2027 and 15% to 2032. (<https://forecast.id.com.au>)

As set out in the Council Plan 2021-25, across Hobsons Bay, neighbourhoods are ageing at different rates. Between 2020 and 2025:

- Williamstown and Altona Meadows are expected to have the largest growth in the number of residents aged 55+ years
- The largest increase in the number of children is expected in Altona North, Altona and Seaholme
- The number of children is expected to decline in Seabrook, Newport and Altona Meadows

Hobsons Bay's population comprises 51% Female, 49% Male and 7% LGBTIQ+.

It is estimated that 16,995 of Hobsons Bay residents have a disability.

Increasing demand

It is impractical to precisely align the provision of public toilets to demographic changes in specific suburbs. However this demographic data, combined with the ambitions of the Council Tourism Strategy, does illustrate that demand for public toilets will grow over the next ten years, both from residents and visitors.

2.7 Community attitudes

Community consultation regarding experiences with and attitudes to Hobsons Bay's public toilets was undertaken during April and May 2022. During this period, Council sought feedback on the condition of the existing public toilets and where people thought there were gaps in the public toilet network. A survey was hosted

on the Participate Hobsons Bay website, people were invited to meet onsite at Ransom Reserve on 30 April 2022 and also online via a zoom session on 11 May 2022.

Overall, the community who responded to the engagement process thought the standard of public toilet provision and their conditions were passable, though with a distinct lean to the left, trending to horrible. Feedback was received on 23 individual toilets within the network with clear message that they needed increased cleaning and maintenance, and that in key locations, i.e. beach areas more pans are required to keep up with demand. Hot water and the provision of soap and more toilet paper also were hot topics for discussion.

In beach-side areas the provision of warm showers and better changeroom facilities also featured prominently.

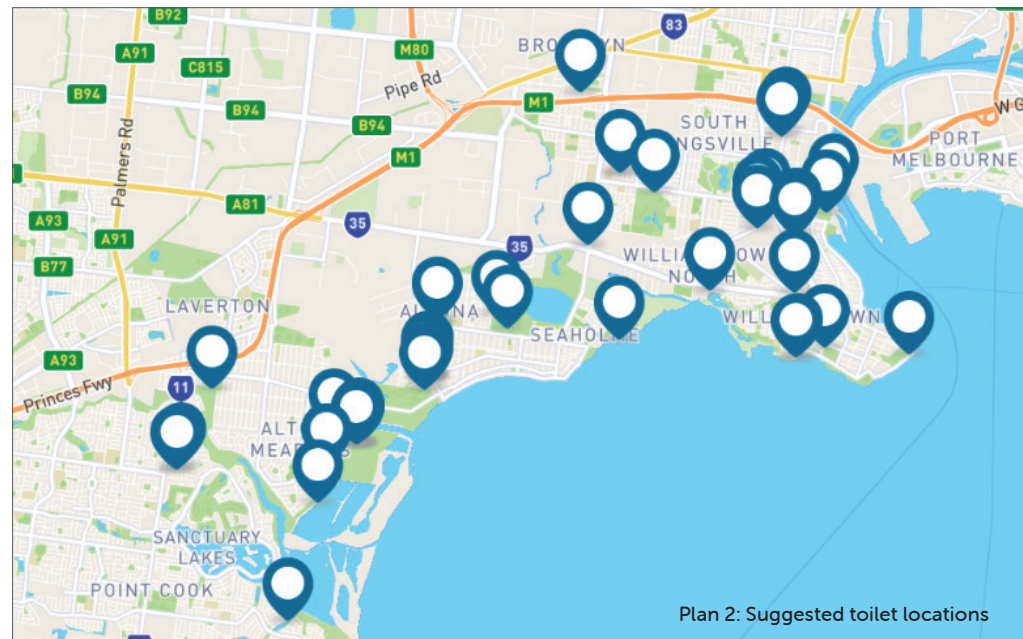
Community assessment of the condition of existing public toilets

This online survey asked people to identify a specific toilet and answer a number of questions regarding usage, asset condition, what could be improved and what services were missing from the toilet.

70 contributions were received from 62 contributors on 23 toilets within the network. These 23 toilets are visited frequently.

Interactive map detailing where people would like to see new public toilets

Toilets were requested at 24 locations. A list of these, and a response to each suggestion is attached at Appendix A.



3 PRINCIPLES

This section provides a set of Principles that will be applied in planning and developing new toilet facilities, and recommended strategies and actions to satisfy the Principles.

Table 7:
Principles to
be applied in
planning and
developing new
toilet facilities

Principle	Toilet design and development recommendations																	
Strategic alignment Ensure that the development of toilet facilities is aligned with Council policies and strategies, particularly the Open Space Strategy and Activity Centres Strategy.	Prioritise toilets in accordance with the following hierarchies. Open Space Strategy <table border="1"> <tr><td>Regional</td><td style="background-color: #d95319;"></td></tr> <tr><td>District</td><td style="background-color: #f4a460;"></td></tr> <tr><td>Neighbourhood</td><td style="background-color: #f4a460;"></td></tr> <tr><td>Local</td><td style="background-color: #f4a460;"></td></tr> </table>	Regional		District		Neighbourhood		Local		Activity Centres Strategy Foreshore In beach and other locations of high activity such as transport stops. Give priority to facilities that are identified in adopted master plans. <table border="1"> <tr><td>Major</td><td style="background-color: #d95319;"></td></tr> <tr><td>N'hood - Large</td><td style="background-color: #f4a460;"></td></tr> <tr><td>N'hood - Medium</td><td style="background-color: #f4a460;"></td></tr> <tr><td>N'hood - Small</td><td style="background-color: #f4a460;"></td></tr> </table>	Major		N'hood - Large		N'hood - Medium		N'hood - Small	
Regional																		
District																		
Neighbourhood																		
Local																		
Major																		
N'hood - Large																		
N'hood - Medium																		
N'hood - Small																		
Siting Position toilets to ensure visibility and safety.	Locate toilets close to road frontages, high traffic paths and other high activity areas. Where possible, locate foreshore toilets on the beach side of major traffic routes.																	
Accessibility Ensure that toilets provide equal access to all.	Signage should indicate the service and equipment that are provided in a facility, rather than the person expected to use it.																	
Typology Select toilet type appropriate to context and demand	Location/setting Activity centres and streetscapes Other locations: parks, trails, foreshore	Type Exeloo Standard																
Durability Ensure that facilities are designed and constructed of materials that and systems that are appropriately durable for their location	In foreshore locations use materials and fittings that are resistant to effects of wind, salt and sand.																	
Sustainability Design and construct toilets to minimise waste, and energy and water consumption	Reuse, reduce, recycle Where feasible, refurbish existing structures in preference to demolition and new construction Utilise durable and recyclable materials Provide water tanks for toilet flushing where appropriate																	
Safety Ensure that facilities are safe	Place facilities in high traffic, high visibility locations Avoid opportunities for concealment Avoid creating stepping/climbing access to roofs Ensure that building services (water, sewer, power) are well integrated and concealed																	

4 PUBLIC TOILET CONFIGURATIONS/ TYPOLOGY AND DESIGN

We have categorised the range of facilities that will be addressed by the updated Public Toilet Strategy

In order to assist in developing a thorough understanding of Council’s existing stock of public toilets, we have categorised the range of facilities that will be addressed by the updated Public Toilet Strategy – for the purposes of analysis and to assist in understanding the ways that Council has responded to demand, and managed the provision of public toilets in the past.

4.1 Locations

Open space (parks and reserves) – toilets are provided in many parks/reserves to service the demand generated by active and passive recreation.

Activity Centres – toilets are provided in a number of activity centres to service the demand generated by the multi-faceted activities that are the definitive function of these centres: services, employment, housing, transport and social interaction (refer to Activity Centres Strategy).

Table 8: Current provision of public toilets within the Open Space hierarchy

Open Space Hierarchy	No. Units
Regional	5
District	14
Neighbourhood	12
Local	2
Total	33

Foreshore – toilets are provided in numerous locations along the foreshore to service the demand generated by coastal activities such as beach going and boating (boat ramps).

4.2 Toilet types and configurations

The Council toilets addressed by this strategy are predominantly freestanding units that are provided to service community need within parks, shopping centres and at major destinations such as the foreshore.

Traditional, proprietary

Constructed to a standardised design by a number of manufacturers/suppliers. These types are typically of lightweight structure that may be either timber or steel framed.

The advantages of these types of facilities include standardisation, price and certainty of regulatory compliance.

Table 9: Current provision of public toilets within the Activity Centre hierarchy

Activity Centre Hierarchy	No. Units	No. Activity Centres
Major	6	3
Neighbourhood - Large	1	1
Neighbourhood - Medium	2	5
Neighbourhood - Small	1	9
Total	10	

Modular, automated

Exeloo brand, typically used in activity centres and shopping strips.

Attached/integral

Generally, toilets that are provided within or attached to community facilities such as libraries, neighbourhood houses and sports pavilions are not covered by this strategy. They are typically managed by or in association with the community services operating within the facility. An exception to this such are the toilets within the former Williamstown Bather’s Pavilion (now Sebastians).

Alternative models

All toilet facilities provided by Council include toilet pans that are typical in western societies. Recently, some organisations in seeking to cater for the practices of diverse communities have also provided squat toilets that are typical in Asia, southern Europe, Africa, the Middle East and some of the former Soviet republics. No request or expectation for the provision of these alternative models was raised during community consultation.

Recommended types and configurations

The following table provides a general guidance on the type and configuration of toilet within the open space and activity centres hierarchies. In situations where good data on demand is available then designs may vary from this guidance.

In addition, in high profile locations such as the centres of activity centres, bespoke designs will be appropriate in preference to proprietary designs.

Table 10: Recommended provision of public toilets by location

Location	Hierarchy	Type	Configuration			
			Standard	Ambulant	Fully accessible	Urinal
Parks, reserves, trails	Regional	Traditional	6	2	2	4
	District	Traditional	3	2	2	3
	Neighbourhood	Traditional	1	1	1	N/A
Activity Centre	Major	Automated			2	N/A
	Neighbourhood - Large	Automated			1	N/A
	Neighbourhood - Medium	Automated			1	N/A
Foreshore	N/A	Automated	1	1	1	N/A

4.3 Associated facilities and features

Given that Council provides toilets in response to demand and strategic benefit in open spaces, activity centres and along the foreshore, toilets are often located with, or in proximity to a range of other facilities and equipment, including:

- Playgrounds
- Picnic settings
- BBQ
- Seating
- Rubbish and Recycling Bins

- Showers (typically mounted externally at beach locations)
- Wash basins
- Drinking fountains and bottle refill (sometimes including pet water bowl)
- Bike racks
- Shade
- Rainwater tanks
- Landscaping/vegetation
- Bus stops (e.g. Newport)

Consideration of the provision of these should be considered on a case by case basis.

4.4 Changing Places

Changing Places facilities are larger than standard accessible toilets, with extra features and more space to meet the needs of people with a disability and their carers. Each facility has a height adjustable, adult-sized changing bench, a tracking hoist system, and space for two people either side of a peninsula toilet.

In support of its policy platform Council is committed to providing facilities in open space areas that will remove barriers for people with disability and high support needs. For people with disability, Changing Places provide new opportunities for social connection and participation in community life. For people who require these facilities, knowing there is a facility to meet their requirements provides a sense of confidence, safety and security.

Changing Places facilities are designed to meet the [Changing Places Design Specification 2020](#).

Table 11: Proposed Future Changing Places Facilities

Site	Suburb
Altona Beach - upgrade Weaver Reserves CP facility	Altona
Cherry Lake Reserve	Altona
Bruce Comben Reserve	Altona Meadows
Hobsons Bay Wetland Centre, Truganina Park	Altona Meadows
McCormack Park	Laverton
Newport Lakes Reserve	Newport
Commonwealth Reserve	Williamstown
Williamstown Beach (Sadler Reserve)	Williamstown

Accessible Beaches

In fulfilment of its commitments to inclusivity and accessibility Council provides facilities at two of its beaches (Williamstown and Altona) to support access to the beach and water, including:

- Accessible Parking
- Accessible Change Facilities
- Accessible Toilet
- Accessible Shower
- Beach Matting
- Beach Wheelchairs
- Beach Walking Frames

Development of public toilets in association with beach access should be considered on a case by case basis.

4.5 Signage

Signage plays an important role in indicating where public toilets are located and what services particular toilet facilities provide.

The traditional 'gendering' of facilities presents access challenges to some people including gender diverse people and parents (such as fathers needing to take their young daughter to a public toilet).

It is recommended that Council:

- Conduct a review of all existing toilets to ensure facilities are fit for purpose, safe and inclusive.
- Depending on the result of this review, institute an ongoing program focussed on compliance and signage to address these issues.

Note that rather than building a new facility, demand might be met by directional signage to existing facilities.



4.6 Case Study - Blenheim Road Reserve and Weaver Reserve

Given Council's commitment to gender equity, safety and inclusivity, a case study was undertaken at two different locations to consider the impacts different types of signage may have on intended users and determine the scope of future investigations.

The two locations chosen were Blenheim Rd Reserve, Altona North, where a new two-cubicle toilet block was constructed in 2022, and Weaver Reserve, Altona, where a large toilet facility with multiple male, female and ambulant toilet cubicles were upgraded in 2017.

The Blenheim Rd Reserve toilet configuration of two separate unisex cubicles is an example of a configuration Council may investigate and assess for accessibility, safety, and inclusivity.

The Weaver Reserve public toilet facility is an example of a toilet configuration with separate male and female signed toilet cubicles. This type of toilets will not be impacted by this review.

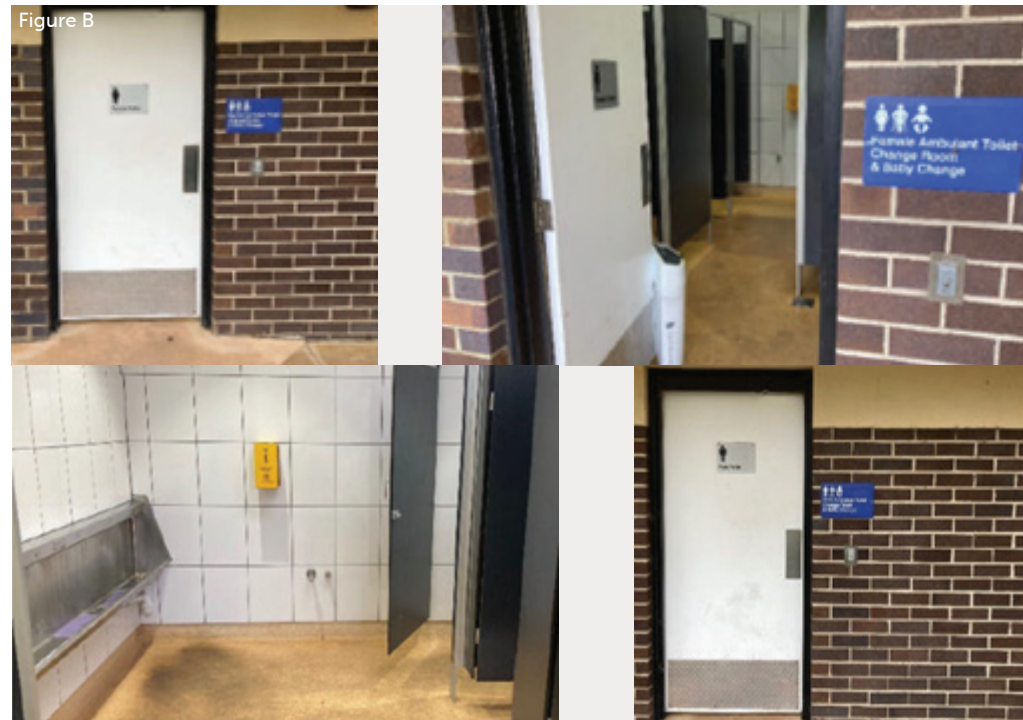


Figure A: Blenheim Rd Reserve public toilet symbols

Figure B: Weaver Reserve public toilets showing symbols signed female (top) and internal space with cubicles and symbols signed male (bottom) with internal space with urinals and cubicles

4.7 Design of toilets at foreshore locations

Council has experienced challenges managing toilets that have been constructed in foreshore locations due to the harsher weather conditions, including:

- Exposure to wind-blown salt and sand is particularly corrosive to materials and fittings
- Increased wind speed and variability raises the risk of doors swinging out of control

In order to address these challenges it is recommended that toilets in these locations are designed to a higher standard with particular attention to:

- Materials should be selected for their strength and durability
- Marine grade materials such as stainless steel and hot-dipped galvanised should be specified
- Equipment and fittings should be manufactured from stainless steel wherever possible
- Heavy-duty closers should be installed on all doors
- Stops should be installed on all door frames to prevent doors swinging beyond the extent allowed by hinges and closers.

4.8 Process

A framework and process have been developed for evaluating and prioritising new toilet requests and proposals. Key steps at the beginning of any proposal are:

1 Determine whether there is an existing toilet that can service the area.

2 Evaluate and score the proposal against key decision-making criteria in the evaluation framework:

- Demand
- Strategic alignment
- Context and siting analysis

3 Undertake a feasibility analysis and preliminary siting exercise to determine:

- Context analysis
- Identify preferred location
- Preliminary cost plan
- Prepare concept plan
- Revise cost plan if appropriate
- that a toilet can be sited safely
- that a toilet can be sited without compromising the amenity of the location
- that site services are available and accessible

4 Undertake community consultation:

- Context analysis
- Identify preferred location
- Present options
- Seek feedback – survey, drop-in etc

5 Depending on the findings of the community consultation, proceed with design development, documentation, tendering and construction.

- Update concept in response to feedback

5 EVALUATION FRAMEWORK

A framework and process have been developed for evaluating and prioritising new toilet requests and proposals.

A template is provided at Appendix B that will be used to document the key issues to be considered at the beginning of the consideration of any toilet proposal, and to score the proposal against key criteria:

- Demand
- Strategic alignment
- Context and siting analysis.

Eighteen proposals were evaluated using this framework, producing the following results:

Site	Suburb	Score	Comment
1 Blenheim Road Reserve	Altona Meadows	N/A	Constructed in 2023
2 Borrack Square	Altona North	13	
3 Bruce Comben Reserve	Altona Meadows	14	Project currently in planning
4 The Circle	Altona North	11	
5 Ford Reserve	Altona	13	To be demolished 2023
6 G Den Dulk Reserve	Altona	10	
7 Homestead Run Reserve	Seabrook	10	
8 Hudson's Road	Spotswood	12	Advocate to LXRA
9 Leo Hoffman Reserve	Newport	9	
10 Newport Park	Newport	13	
11 R J Cooper Reserve	Altona North	8	Not supported
12 Sadler Reserve	Williamstown	9	
13 Williamstown Botanical Gardens	Williamstown	11	
14 Langshaw Reserve	Altona North	10	
15 D N Duane Reserve	Brooklyn	9	Not supported
16 C W Carlsson Reserve	Altona Meadows	9	Hobsons Bay Wetland Centre
17 Donald McLean Reserve	Spotswood	11	Toilet recently demolished
18 Truganina Park	Altona Meadows	13	Toilet will be provided in development of Hobsons Bay Wetland Centre

Table 12: Evaluation of toilet proposals

A sensitivity analysis was then undertaken to provide an understanding of the projects that would be implemented given different levels of funding. The analysis indicates the total PTS funding required to:

- Implement all projects
- Projects excluded < 10
- Projects excluded < 11

Table 13: Proposal evaluation – sensitivity analysis

Sensitivity Analysis Scores and projects excluded	
<10	<11
R J Cooper Reserve	R J Cooper Reserve
D N Duane Reserve	D N Duane Reserve
C W Carlsson Reserve	C W Carlsson Reserve
Leo Hoffman Reserve	Leo Hoffman Reserve
	G Den Dulk Reserve
	Homestead Run Reserve
	Langshaw Reserve
	Donald McLean Reserve
	Williamstown Botanical Gardens
	The Circle



6 IMPLEMENTATION

6.1 Proposed Public Toilet projects and priorities

Anticipated costs

The following anticipated costs have been utilised in developing a ten year budget framework.

These figures are based on recent experience and preliminary investigations of each project, and are provided for guidance and budgeting purposes. Note that actual costs can vary significantly depending on project and site circumstances and market conditions.

Table 14: Anticipated project costs

Component	Anticipated unit cost	
	Range	Cost applied
Traditional proprietary toilet unit - small	\$150,000 - \$200,000	\$175,000
Traditional proprietary toilet unit - large	\$190,000 - \$250,000	\$225,000
Traditional proprietary toilet unit – high profile	\$400,000 - \$500,000	\$450,000
Exeloo – single unit	\$170,000 – \$250,000	\$225,000
Exeloo – double unit	\$280,000 - \$350,000	\$325,000
Refurbish existing structure	\$150,000 - \$300,000	\$225,000
Changing Places	\$150,000 - \$180,000	\$170,000

Inclusions

- Purchase of proprietary units
- Design
- Installation
- Connection to existing services
- Showers and drainage
- Facility signage
- Landscaping and furniture within immediate curtilage of facility
- Bespoke design for major, high profile facilities

Exclusions

- Landscaping beyond immediate curtilage of structure
- Major services connections or upgrades
- Additional /extended facilities e.g. shelter, picnic setting
- Directional signage in broader area

Based on application of Evaluation Framework, the following projects are recommended for the next ten years



Table 15: Proposed PTS implementation

	Site	Suburb	Score	Action	Priority	Toilet Type	Size	Ass fac's	Anticipated cost
1	Bruce Comben Reserve	Altona Meadows	14	New	High	Traditional	Large	CP	\$370,000
2	Newport Park	Newport	13	New	High	Traditional	Large	CP	\$300,000
3	Ford Reserve	Altona	13	Demolish	High	N/A	N/A		\$30,000
4	Borrack Square	Altona North	13	New	High	Automated	Single		\$225,000
5	Hudson's Road	Spotswood	12	New	High	Automated	Single		\$225,000
6	Donald McLean Reserve	Spotswood	11	New	High	Traditional	Large		\$300,000
7	Williamstown Botanical Gardens	Williamstown	11	New	High	Traditional	Bespoke		\$450,000
8	W G Cresser Reserve	Altona	N/A	Demolish	High	Automated	N/A		\$30,000
9	The Circle	Altona North	11	New	High	N/A	Single		\$225,000
10	G Den Dulk Reserve	Altona	10	New	Medium	Traditional	Small		\$175,000
11	Homestead Run Reserve	Seabrook	10	New	Medium	Traditional	Small		\$175,000
12	Langshaw Reserve	Altona North	10	New	Medium	Traditional	Small		\$175,000
13	Leo Hoffman Reserve	Newport	9	New	Medium	Traditional	Small		\$175,000
14	Warmies Boat Ramp	Newport	N/A	Replace or upgrade	Low	Automated	Single		\$225,000
15	Sadler Reserve	Williamstown	9	New	Low	Traditional	Large	CP	\$300,000
16	D N Duane Reserve	Brooklyn	9	New or rely on pavilion	Low	Traditional	Small		\$175,000
17	Hobson Bay Wetland Centre	Altona Meadows	9	New	Low	Traditional	Large		\$300,000
18	R J Cooper Reserve	Altona North	8	New	Low	Traditional	Small		\$175,000
19	Harrington Square	Altona	N/A	Replace or upgrade	Low	Automated	Single		\$225,000
*Total anticipated cost									\$3,855,000

* Please note: Bruce Comben and Ford Reserves already budgetted, and not included in total anticipated cost

6.2 Further work

Following is further to work that is recommended to improve Council's access to information and understanding of the issues that will affect the provision of toilets over the next ten years.

1. Update the database of public toilets

- Clarify distinction between independent public toilets that are covered by the PTS, and toilets that are incorporated into other facilities or privately owned that are not covered by the PTS
- Record information on:
 - Type
 - Configuration
 - Numbers and types of cubicles
 - Locations within the hierarchies of Open Spaces and Activity Centres
 - Adjacent facilities and equipment

2. User informed engagement

- Are people experiencing any particular barriers to inclusion and participation in community life?
- Consider engaging with a diverse range of community members when developing new or upgrading existing toilets to identify opportunities for improvements and consider any perceived barriers to usage

3. Monitor usage and demand

- Establish a program of research to provide improved information on usage and demand for toilets to assist in decision making regarding locations, configurations and numbers of facilities

4. Continual improvement

- Conduct a review of all existing public toilets to ensure facilities are fit for purpose, safe and inclusive

6.3 Associated documents

- Public Toilet database

APPENDIX A - SITES FOR NEW PT SUGGESTED BY COMMUNITY

Table 15:
Proposed PTS
implementation

Suggested Site	Suburb	Response
G Den Dulk Reserve	Altona	Include in evaluation, investigating provision via Latitude property adjacent
The 100 Steps of Federation, Truganina Park	Altona Meadows	Need expected to be met by future toilets in proposed Hobsons Bay Wetland Centre
Homestead Run Reserve	Seabrook	Include in evaluation
Paisley Park	Altona North	Toilet currently under construction nearby at Blenheim Rd Reserve
Williamstown Swimming & Lifesaving Club	Williamstown	Existing toilets, new toilets under consideration
Paine Reserve	Newport	Existing toilet at Newport Community Hub
Bryan Martin Oval	Newport	Existing toilet at Newport Community Hub
Cherry Lake	Altona	Existing toilets x 2
Armstrong Reserve	Newport	Small local park, not supported
Hudsons Road/Spotswood Train Station	Spotswood	Include in evaluation
Shared Trail - Altona	Altona Meadows	Location vague, numerous existing toilets along trail
Skeleton Creek Parks Vic; Ford	Point Cook	Toilet recently constructed nearby at Tatman Reserve
Bruce Comben Reserve	Altona Meadows	Toilet currently in planning
The Warmies	Newport	Existing toilets nearby at Williamstown boat ramp
A H Ford Reserve	Altona	Demolish existing toilet, evaluate need for new
P A Burns Reserve	Altona	Recently constructed
Point Gellibrand (Timeball Tower) Battery Road	Williamstown	Parks Vic land, existing Parks Vic toilet nearby
Fearon Reserve	Williamstown	Existing toilet, additional considered for Sadler Reserve
D. N. Duane Reserve	Altona North	Toilet recently constructed nearby at Brooklyn Res, include in evaluation, investigate access to toilet at pavilion
Williamstown North Train Station	Williamstown	Level Crossing Removal project, no toilets provided
Langshaw Reserve	Altona North	Include in evaluation
C W Carlsson Reserve	Altona Meadows	Include in evaluation, Hobsons Bay Wetland Centre
Newport Park	Newport	Include in evaluation

APPENDIX B - TOILET PROPOSAL EVALUATION TEMPLATE

Hobsons Bay City Council Public Toilet Strategy

Toilet proposal evaluation - New

Location Analysis			Score	
Site	Address	Suburb		
Source of proposal/request:				
Alternative toilet facilities: Distance from site			Access/Barriers	
Is an additional toilet required?			Yes	No
Demand: Local Data Community requests Demography			Score	/5
Strategic alignment Open Space Hierarchy Activity Centre Hierarchy Foreshore Planning Status			Score	/5
Context and siting analysis Appropriate site availability Access and linkages Pedestrian traffic Visibility Context			Score	/5
Total Score			0	/5

Score	
Adjacent destinations/attractors	Sports pavilion (list sports)
Location features	
Topography Geology/Soil	
Linkages	
Potential toilet users	
Possible associated facilities	

**HOBSONS BAY
CITY COUNCIL**

115 Civic Parade, Altona
 PO Box 21, Altona 3018
 Phone (03) 9932 1000
 Fax (03) 9932 1090
 NRS phone 133 677 and quote 03 9932 1000
 Email customerservice@hobsonsabay.vic.gov.au

 www.twitter.com/HobsonsBayCC

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**PROPOSED DENNIS RESERVE
MULTIPURPOSE FACILITY**

DRAWING SCHEDULE

AR000	COVER PAGE
AR001	EXISTING SITE PLAN
AR002	DEMO PLAN
AR100	PROPOSED SITE PLAN
AR101	PROPOSED FLOOR PLAN
AR102	PROPOSED ROOF PLAN
AR200	PROPOSED SETOUT PLAN
AR201	PROPOSED WALL TYPES
AR202	PROPOSED SLAB SETOUT PLAN
AR300	PROPOSED REFLECTED CEILING PLAN
AR4.00	PROPOSED ELEVATIONS
AR4.01	PROPOSED ELEVATIONS
AR500	PROPOSED SECTIONS
AR600	WINDOW TYPES
AR601	WINDOW TYPES
AR602	DOOR TYPES
AR603	SECTION DETAILS
AR604	PLAN & TYPICAL DETAILS
AR700	FLOOR FINISHES PLAN
AR701	PROPOSED FURNITURE PLAN
AR800-AR828	ROOM LAYOUT SHEETS
AR850-AR855	JOINERY DETAILS

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CLIENT:
**HOBSONS BAY
CITY COUNCIL**

PROJECT:
**DENNIS RESERVE
MULTIPURPOSE FACILITY**

DRAWING No: **AR000** REVISION: **00**

DRAWING TITLE:
COVER PAGE

JOB No: **21047** SCALE: **NTS**

DRAWN BY: **HM / RF** CHECKED: **NH**

DATE: **JUN 2022** SHEET No: **1 OF 1**

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Mitcham VIC 3112 Australia
+61 (0)3 8888 9827 | +61 (0) 413 730 655
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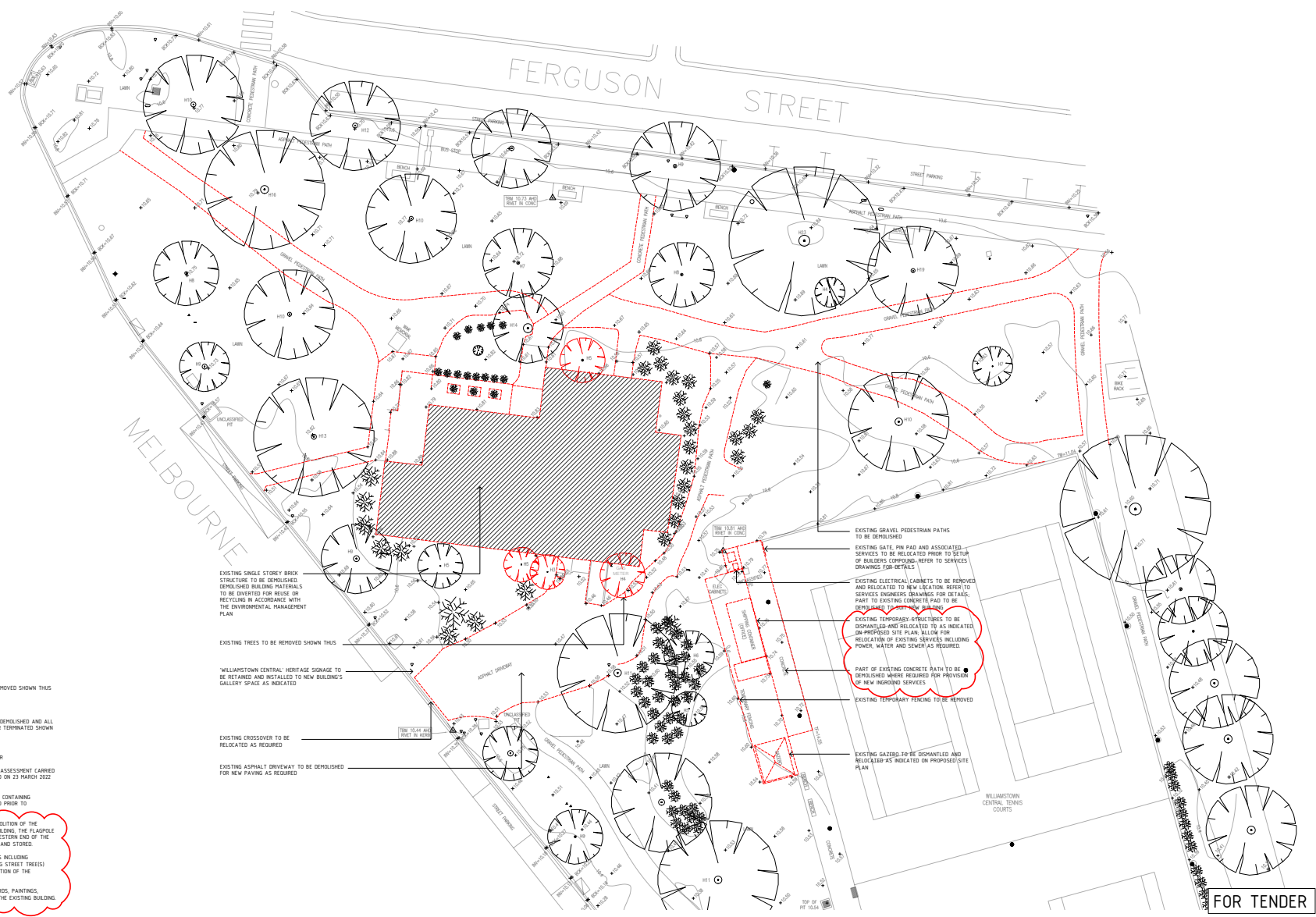
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-  EXISTING TREES TO BE REMOVED SHOWN THIS
-  EXISTING BUILDING TO BE DEMOLISHED AND ALL SERVICES CAPTED AND/OR TERMINATED SHOWN DASHED AND HATCHED

NOTE: DRAWING TO BE PRINTED IN COLOUR
 REFER TO THE ARBORICULTURAL IMPACT ASSESSMENT CARRIED OUT BY KOPPELWOOD CONSULTING PTY LTD ON 22 MARCH 2022 FOR DETAILS OF TREES TO BE REMOVED.

CONTRACTOR TO ENSURE ANY ASBESTOS CONTAINING MATERIALS ON SITE HAVE BEEN REMOVED PRIOR TO COMMENCEMENT OF THE WORKS.

BEFORE THE COMMENCEMENT OF THE DEMOLITION OF THE EXISTING SENIOR CITIZENS CLUBROOM BUILDING, THE FLAGPOLE AND COMPENSATIVE PLAQUE ON THE WESTERN END OF THE BUILDING MUST BE CAREFULLY REMOVED AND STORED.

PRIOR TO COMMENCEMENT OF ANY WORKS INCLUDING DEMOLITION, PROTECTION OF THE EXISTING STREET TREES MUST BE UNDERTAKEN TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

CONTRACTOR TO KEEP THE HONOUR BOARDS, PAINTINGS, HERITAGE SIGNAGE AND THE LIKE FROM THE EXISTING BUILDING.

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21047

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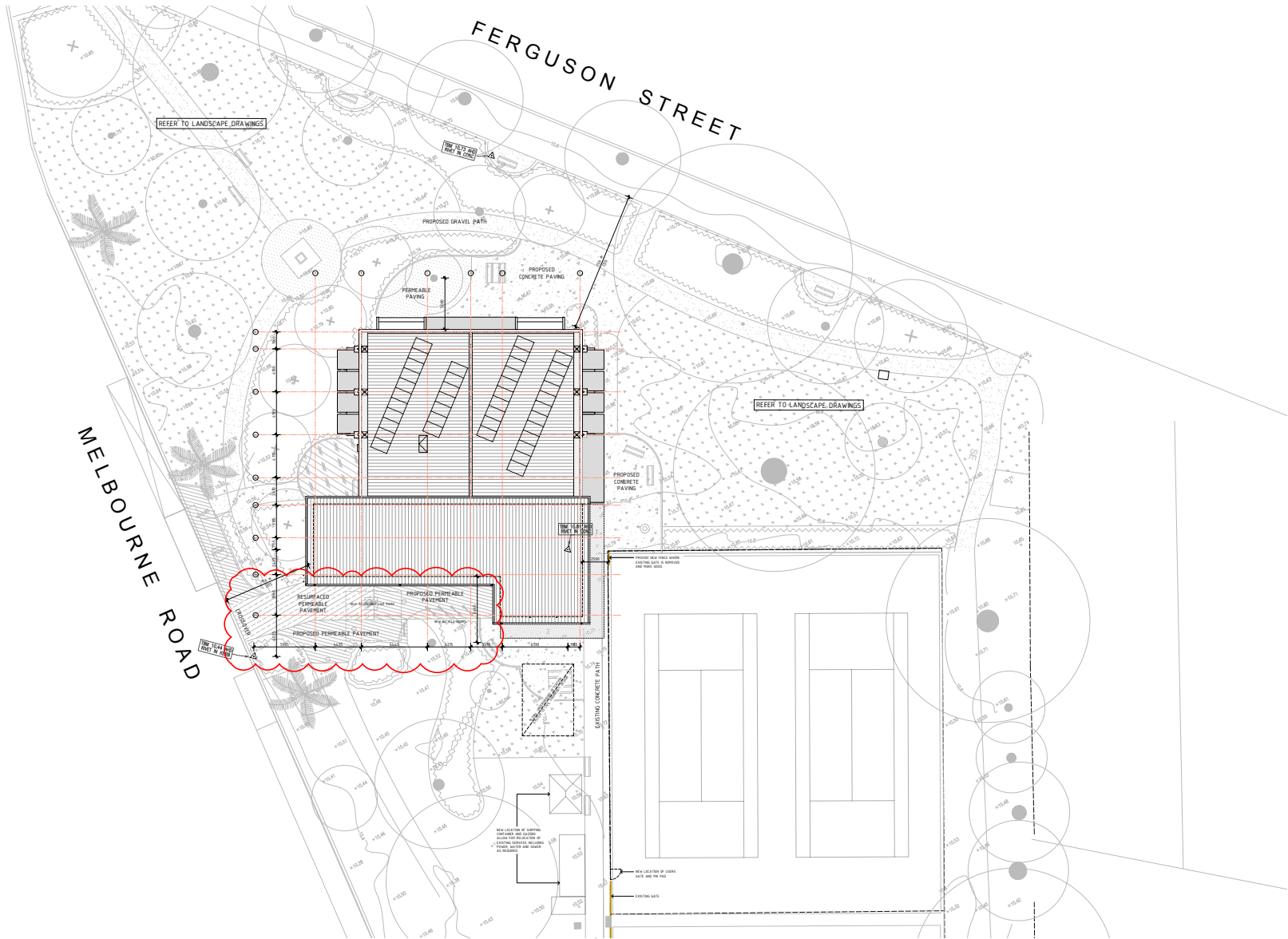
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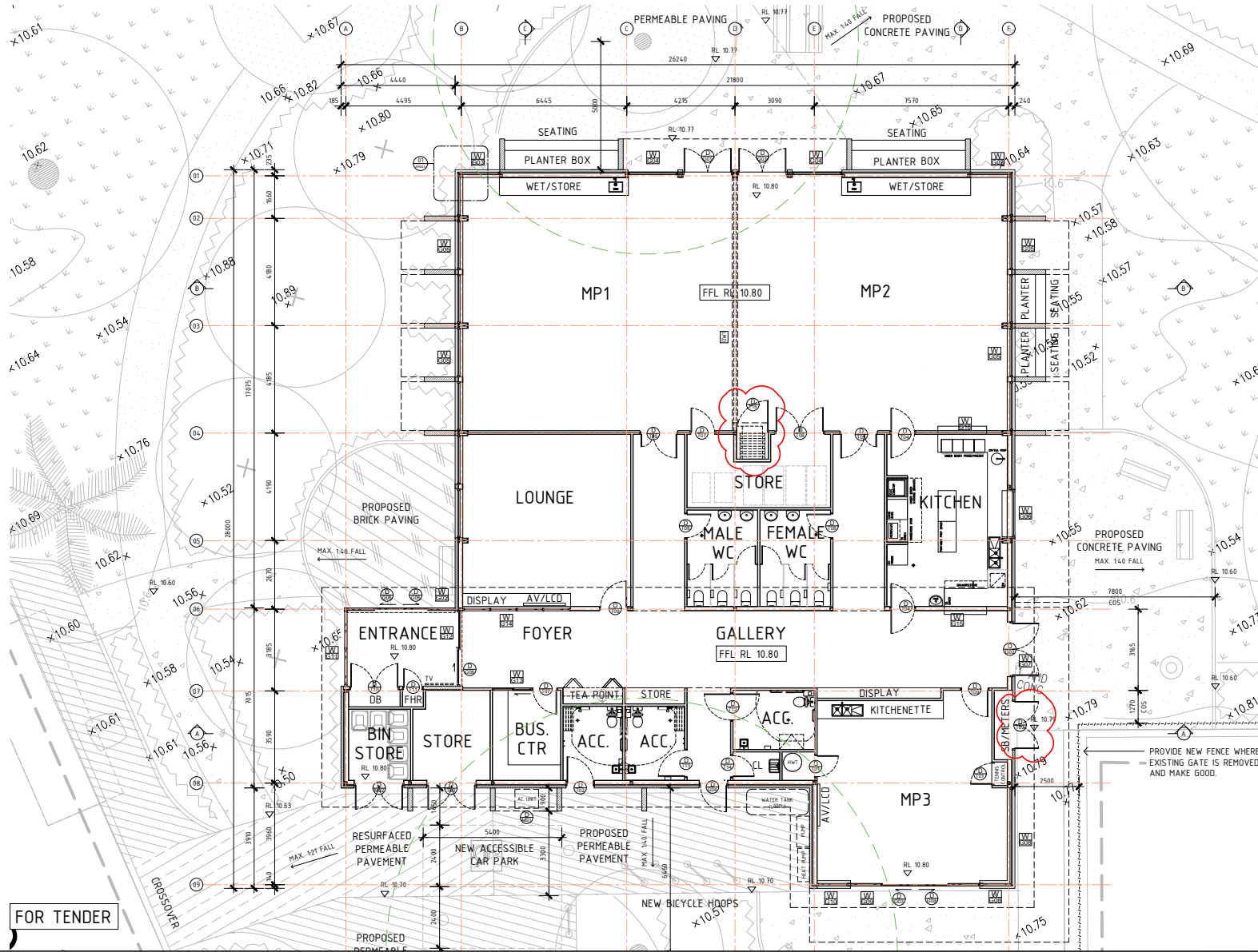
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WATERPROOFING TO WET AREAS TO BE IN ACCORDANCE WITH AS 3740.

BRAILLE AND TACTILE SIGNAGE TO BE INSTALLED TO IDENTIFY ALL SANITARY FACILITIES IN ACCORDANCE WITH AS 1428.1 AND THE NCC.

BRAILLE AND TACTILE SIGNAGE TO BE INSTALLED TO EXIT DOORS PROVIDED WITH ILLUMINATED EXIT SIGNAGE ABOVE IN ACCORDANCE WITH BCA CLAUSE D3.6 & SPECIFICATION D3.6.

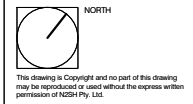
SUPPLY AND INSTALL HEARING AID LOOPS AND REQUIRED CABLING TO MP1, MP2, MP3 & LOUNGE. REFER TO ENGINEERS' SPECIFICATIONS FOR DETAILS.

CONTRACTOR TO CONFIRM WITH MANUFACTURER THE SIZE OF ALCOVE REQUIRED FOR OPERABLE WALLS OW1 TO DETERMINE SETOUT OF WALLS AND BULKHEAD.

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24/08/22	01 FOR TENDER	RP



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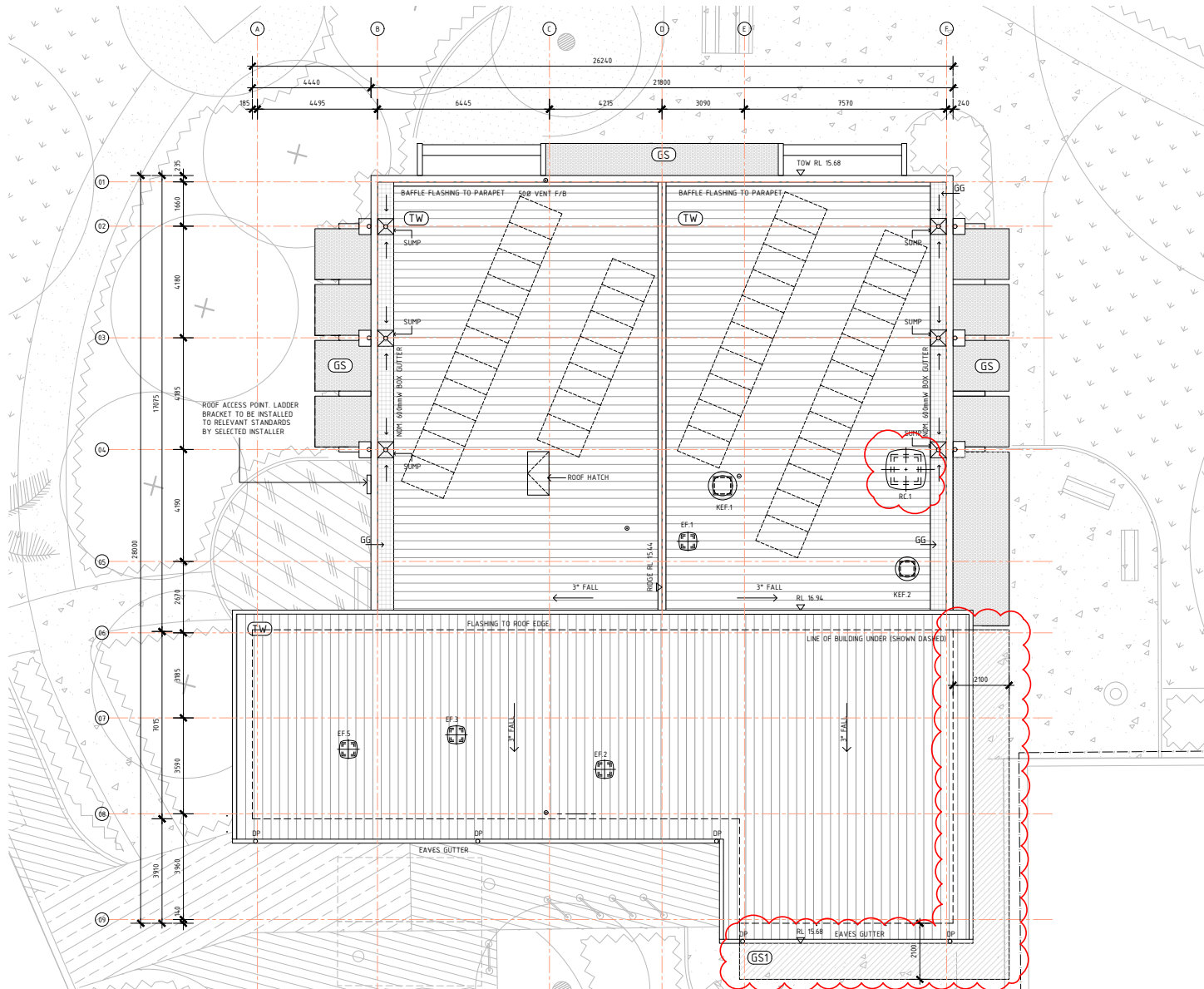
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LEGEND

(TW) TRIMDEK METAL ROOFING
FINISH: DULUX COLORBOND SURFMIST

(GS) PERFORATED GALVANISED STEEL AWNING
INSTALLED TO ENGINEERS DESIGN

(GS1) PERFORATED GALVANISED STEEL AWNING
INSTALLED TO ENGINEERS DESIGN.
CLEAR POLYCARBONATE SHEETS TO BE
INSTALLED ON TOP

FL: FLASHING

CF: CAPPING FLASHING

DP: DOWN PIPE

GG: GUTTER GUARD

ROOF SAFETY ANCHOR POINT SYSTEM AND LADDER BRACKET TO BE DESIGNED AND
INSTALLED BY SELECTED SPECIALIST PROVIDER IN ACCORDANCE WITH AS 1657.2018
AND OTHER RELEVANT BUILDING REGULATIONS,
DEFENDER ROOF ANCHORS OR SIMILAR APPROVED.

PROVIDE GUTTER GUARD TO ALL BOX GUTTERS.

REFER TO SERVICES ENGINEERS DRAWINGS FOR SOLAR PANELS LAYOUT AND
DETAILS OF ROOF SERVICES.

METAL ROOFING TO BE INSTALLED IN ACCORDANCE WITH AS 1562.1.

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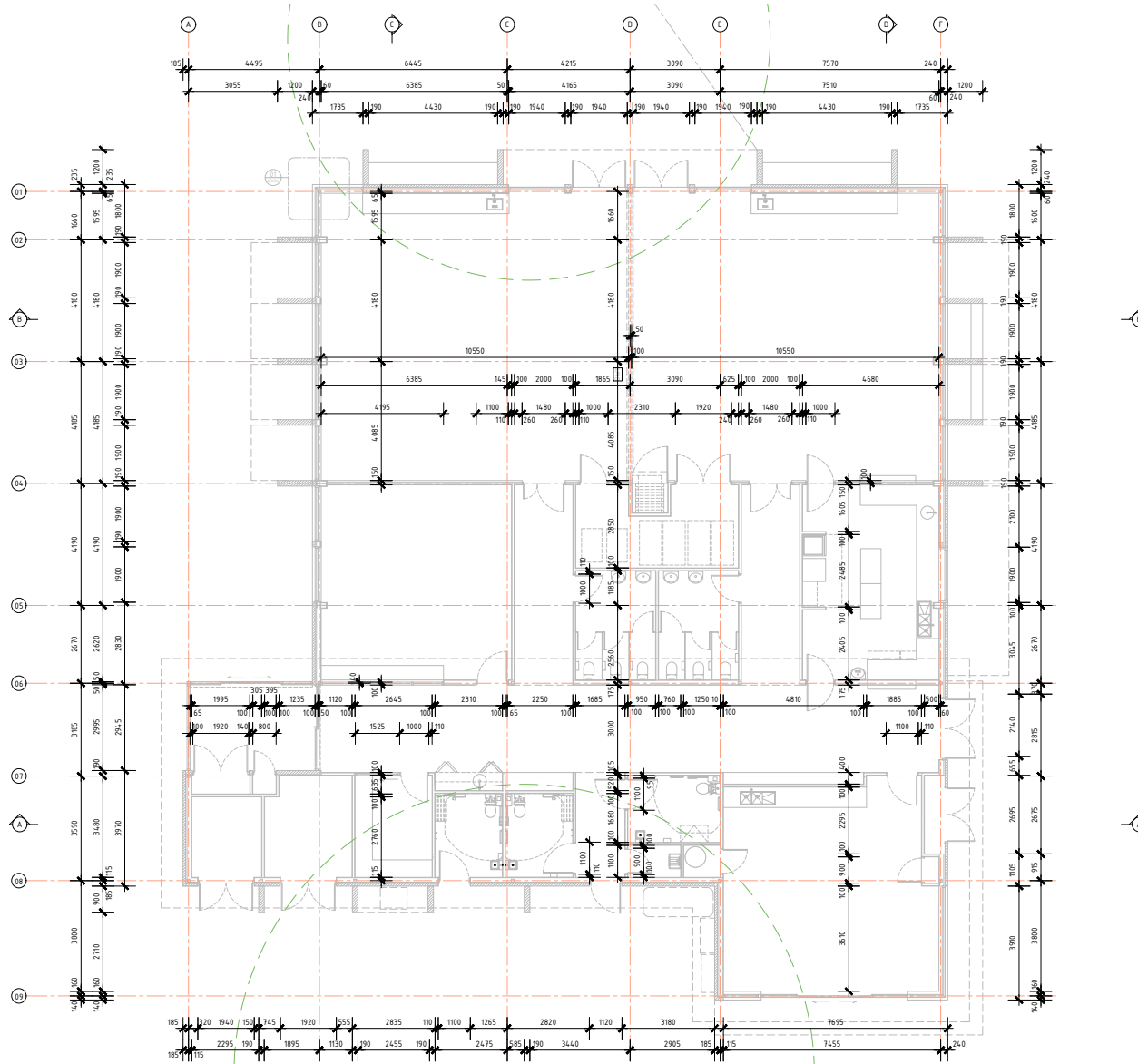
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DRAWING No: AR102
REVISION: 01
DRAWING TITLE: PROPOSED ROOF PLAN

JOB No: 21047
DRAWN BY: NS / RF
CHECKED: NH
DATE: JUN 2022
SCALE: 1:100@A2
SHEET No: 1 OF 1



CONTRACTOR TO CONFIRM WITH MANUFACTURER THE SIZE OF ALCOVE REQUIRED FOR OPERABLE WALLS DW1 TO DETERMINE SETOUT OF WALLS AND BULKHEAD.



FOR TENDER

DATE	REVISION	BY:
12/08/22	00 FOR TENDER	NS/JZ



Builders / Contractors shall verify all dimensions before the commencement of any works. Fugate dimensions shall take precedence over scaled work. Any discrepancies shall be brought to the attention of the Architect. Refer to Schedules for materials, finishes, fittings and fixture codes and selections. This drawing to be read in conjunction with the Specification, Schedules and other drawings. Works shall conform with NCC, Australian Standards, Authority Requirements and relevant manufacturer requirements unless otherwise noted.



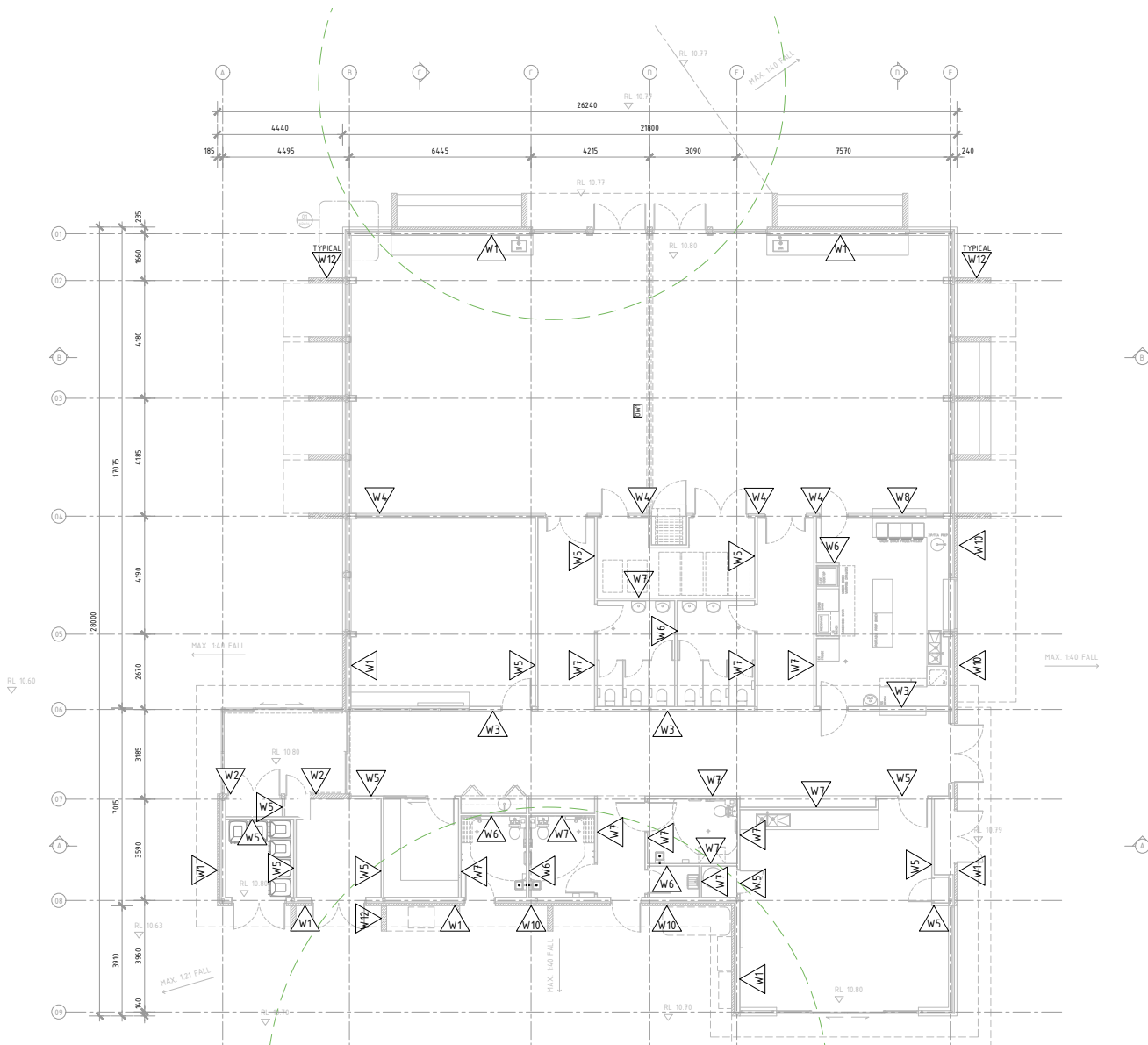
CLIENT:
HOBSONS BAY CITY COUNCIL
PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No:
AR200
REVISION:
00
DRAWING TITLE:
PROPOSED SETOUT PLAN

JOB No:
21047
DRAWN BY:
NS / JZ
DATE:
JUN 2022

SCALE:
1:100@A2
CHECKED:
NH
SHEET No:
1 OF 1





EXTERNAL WALL TYPES

*ALL WALL TYPES ARE FROM OUTSIDE IN

- WALL TYPE W1:**
 BLOCK VENEER WALL; NOM. 300mm THICK
 - SELECTED 90mm BLOCKWORK
 - NOM. 47mm CAVITY
 - BREATHABLE WATER PROOF MEMBRANE
 - NOM. 150mm METAL STUD WITH BRADFORD FIBERTEX350 R2.80 (100mm) WALL INSULATION
 - 13mm PLASTERBOARD
- WALL TYPE W10:**
 BLOCK VENEER WALL; NOM. 300mm THICK
 - SELECTED 90mm BLOCKWORK
 - NOM. 47mm CAVITY
 - BREATHABLE WATER PROOF MEMBRANE
 - NOM. 150mm METAL STUD WITH BRADFORD FIBERTEX350 R2.80 (100mm) WALL INSULATION
 - 1X LAYER 13MM MR PLASTERBOARD

- WALL TYPE W2:**
 BLOCK WALL; NOM. 190mm THICK
 - SELECTED 190mm BLOCKWORK
 REFER TO DRAWING AR-604 FOR DETAILS

INTERNAL WALL TYPES

- WALL TYPE W2:**
 INTERNAL BLOCKWORK WALL ALONG GALLERY; NOM. 170mm THICK
 - 1 x 13mm PLASTERBOARD
 - NOM. 16mm FURRING CHANNEL
 - SELECTED 140mm BLOCKWORK

- WALL TYPE W3:**
 INTERNAL WALL ALONG GALLERY; NOM. 180mm THICK (FROM WET AREA TO NON-WET AREA):
 - 1X LAYER 13MM MR PLASTERBOARD
 - NOM. 92MM STAGGERED METAL STUDS TO 150MM TOP AND BOTTOM TRACK
 - 1 x 13mm PLASTERBOARD

- WALL TYPE W4:**
 - 1X LAYER 13MM PLASTERBOARD
 - NOM. 76MM STUDS WITH BRADFORD SOUNDSCREEN R2.0 (70mm) WALL INSULATION
 - NOM. 50MM DURRA PANEL

- WALL TYPE W5:**
 - 1 x 13mm PLASTERBOARD
 - NOM. 76mm METAL STUDS WITH 70mm THICK BRADFORD SOUNDSCREEN R2.0 WALL INSULATION
 - 1 x 13mm PLASTERBOARD

- WALL TYPE W6 (WET AREAS):**
 - 1X LAYER 13MM MR PLASTERBOARD TO BOTH SIDES OVER 76MM NOM. STUDS WITH BRADFORD SOUNDSCREEN R2.0 (70mm) WALL INSULATION

- WALL TYPE W7 (FROM WET AREA TO NON-WET AREA):**
 - 1X LAYER 13MM MR PLASTERBOARD
 - 76MM NOM. STUDS WITH BRADFORD SOUNDSCREEN R2.0 (70mm) WALL INSULATION
 - 1 x 13mm PLASTERBOARD

- WALL TYPE W8 (FROM WET AREA TO NON-WET AREA):**
 - 1X LAYER 13MM MR PLASTERBOARD
 - 76MM NOM. STUDS WITH BRADFORD SOUNDSCREEN R2.0 (70mm) WALL INSULATION
 - 50MM NOM.DURRA. PANEL

FOR TENDER

DATE	REVISION	BY
12/08/22	00 FOR TENDER	NB
22/08/22	01 FOR TENDER	RP



Builders / Contractors shall verify all dimensions before the commencement of any works. Fugate dimensions shall take precedence over scaled work. Any discrepancies shall be brought to the attention of the Architect. Refer to Schedules for materials, finishes, fittings and fixture codes and selections. This drawing to be read in conjunction with the Specification, Schedules and other drawings. Works shall conform with NCC, Australian Standards, Authority Requirements and relevant manufacturer requirements unless otherwise noted.

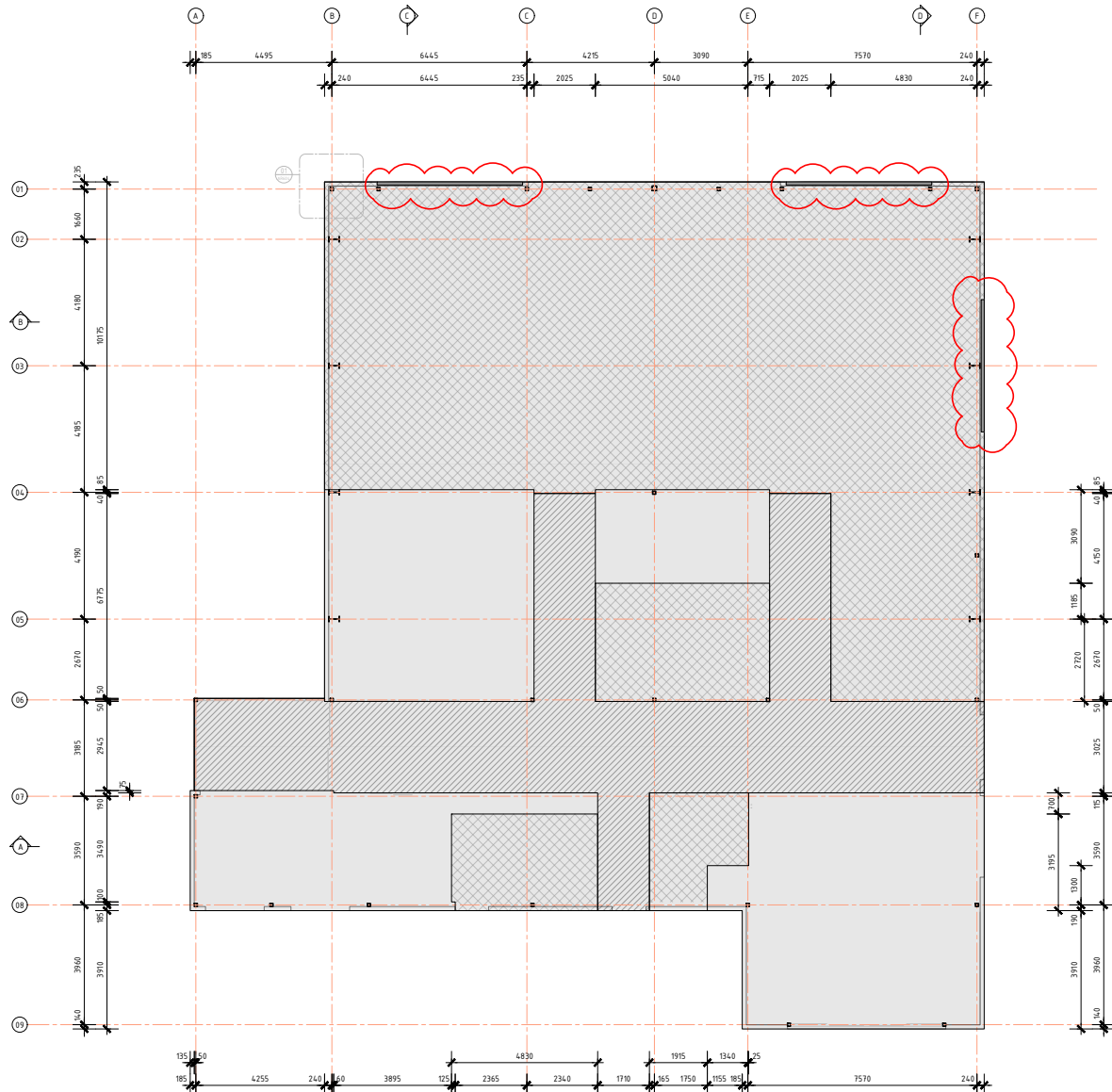


CLIENT: HOBSONS BAY CITY COUNCIL
 PROJECT: DENNIS RESERVE MULTIPURPOSE FACILITY





DRAWING No: AR201
 REVISION: 01
 DRAWING TITLE: PROPOSED WALL TYPES

JOB No: 21047
 DRAWN BY: NS
 DATE: JUN 2022
 SCALE: 1:100@A2
 CHECKED: NH
 SHEET No: 1 OF 1





LEGEND:

-  NOM. 80MM SETDOWN
-  NOM. 50MM SETDOWN
-  EXTENT OF CONCRETE SLAB
-  EXTENT OF CONCRETE UPSTAND

REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR SLAB REBATE DETAILS.

FOR TENDER

DATE	REVISION	BY:
12/08/22	02 FOR TENDER	JZ
22/08/22	01 FOR TENDER	RF



Builders / Contractors shall verify all dimensions before the commencement of any works. Figure dimensions shall take precedence over scaled work. Any discrepancies shall be brought to the attention of the Architect. Refer to Schedules for materials, finishes, fittings and fixture codes and selections. This drawing to be read in conjunction with the Specification, Schedules and other drawings. Works shall conform with NCC, Australian Standards, Authority Requirements and relevant manufacturer requirements unless otherwise noted.

NORTH



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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: AR202
REVISION: 01

DRAWING TITLE:
PROPOSED SLAB SETOUT PLAN













JOB No: 21047
DRAWN BY: JZ
DATE: JUN 2022

SCALE: 1:100@A2
CHECKED: RF
SHEET No: 1 OF 1

N2SH STUDIO

n2sh
Unit 2, 586 Whitehorse Rd
Mitcham VIC 3112 Australia
+61 (0)3 8888 9827 | +61 (0) 413 735 655
info@n2sh.net | www.n2sh.net
N2SH Pty. Ltd. ABN 20 668 600 196

SYMBOLS LEGEND

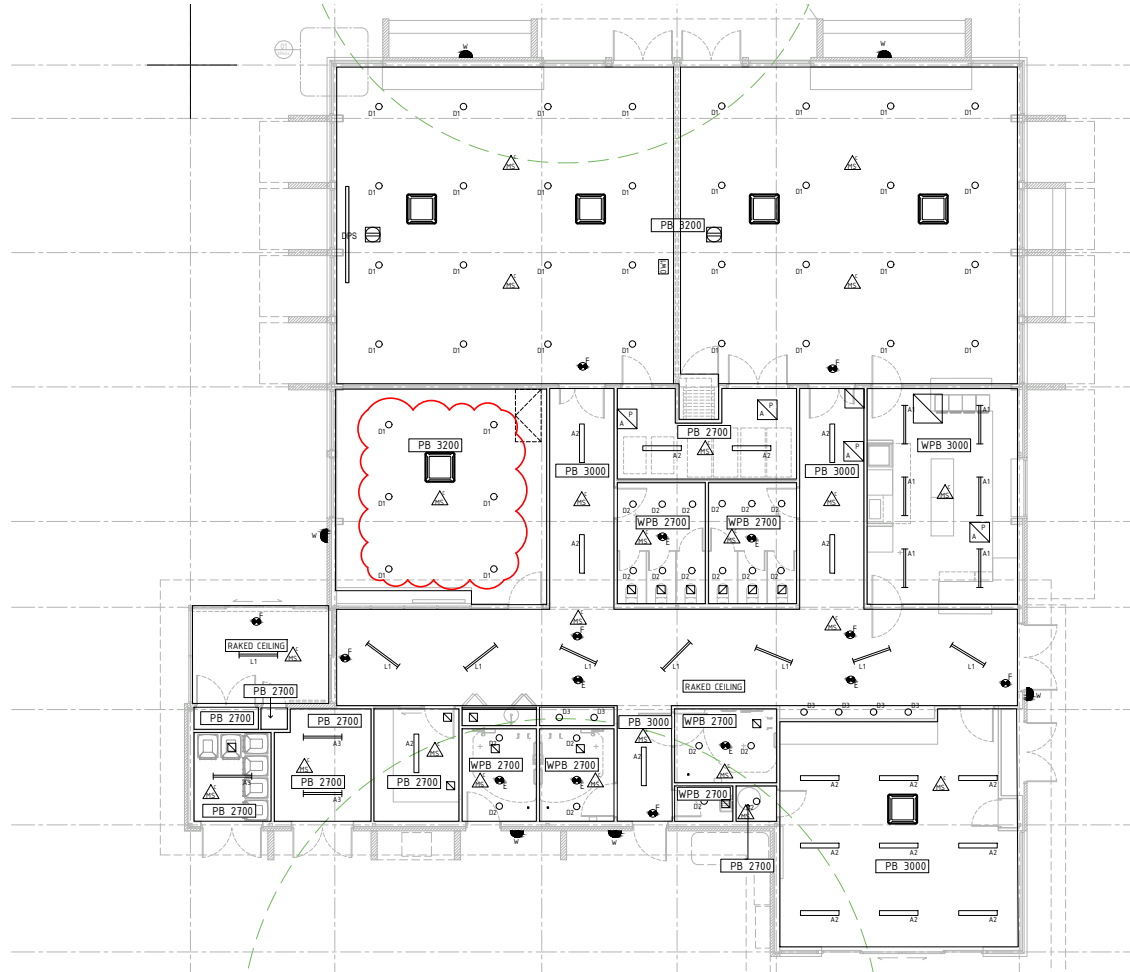
-  RECESSED LINEAR LIGHT - NEW
REFER SCHEDULE OF LIGHT FITTINGS
-  LINEAR LIGHT - NEW
A1 & A3 TO BE SURFACE MOUNTED, L1 TO BE SUSPENDED -
REFER SCHEDULE OF LIGHT FITTINGS
-  RECESSED DOWNLIGHT - NEW
REFER SCHEDULE OF LIGHT FITTINGS
-  EMERGENCY/EXIT LIGHT - NEW
REFER SCHEDULE OF LIGHT FITTINGS
-  WALL LIGHT - NEW
REFER SCHEDULE OF LIGHT FITTINGS
-  SENSOR SWITCH N= TYPE - NEW
-  L=LIGHT LEVEL IMPROVEMENT
-  S=SOUND W-WALL C-CEILING
-  SHORT THROW PROJECTOR
-  RECESSED CASSETTE AC
-  EXHAUST GRILLE
-  ROOF HATCH

ABBREVIATION

DPS CEILING MOUNTED PROJECTOR SCREEN

REFER TO SERVICES DRAWINGS FOR DETAILS OF LIGHTING,
EMERGENCY LIGHTING, EXIT SIGNS AND OTHER CEILING
SERVICES. SERVICES SHOWN ON THIS PLAN ARE INDICATIVE
ONLY. EMERGENCY LIGHTING AND EXIT SIGNS TO BE
INSTALLED IN ACCORDANCE WITH AS 2293.1.

ARTIFICIAL LIGHTING TO BE IN ACCORDANCE WITH AS 1680.0.



FOR TENDER

DATE	REVISION	BY:
12/08/22	00: FOR TENDER	NH
22/08/22	01: FOR TENDER	NH



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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR300** REVISION: **01**

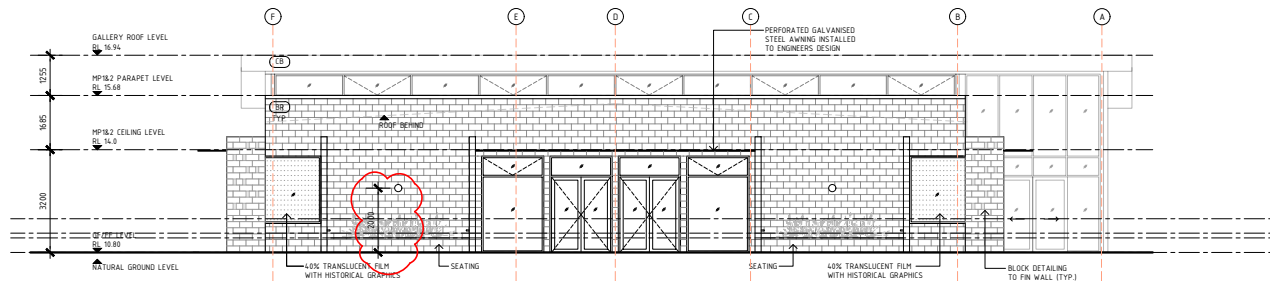
DRAWING TITLE:
PROPOSED REFLECTED CEILING PLAN

JOB No: **21047** SCALE: **1:100@A2**

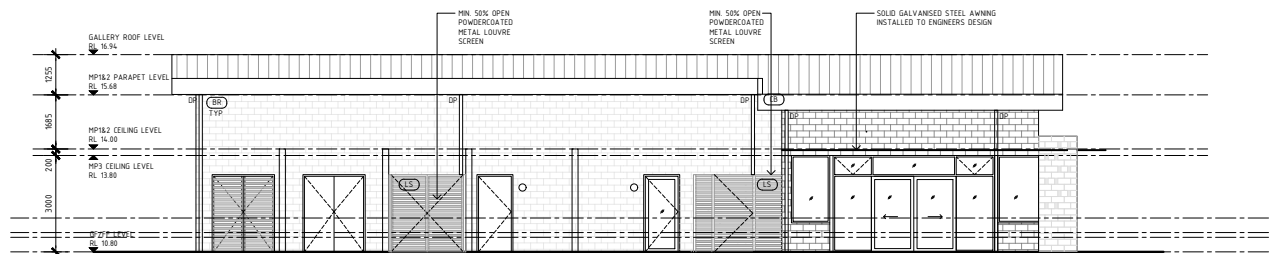
DRAWN BY: **NS** CHECKED: **NH**

DATE: **JUN 2022** SHEET No: **1 OF 1**





NORTH ELEVATION



SOUTH ELEVATION

LEGEND

- POWDERCOATED ALUMINIUM ALL EXTERIOR WINDOW FRAMES
COLOUR:
- DULUX COLORBOND WALLABY
- POWDERCOATED ALUMINIUM ALL EXTERIOR DOOR FRAMES
COLOUR:
- DULUX COLORBOND WALLABY
- EXTERIOR TYPE PAINTED ALL EXTERIOR DOORS
COLOUR:
- DULUX COLORBOND WALLABY
- POWDERCOATED STEEL FASCIA
COLOUR:
- DULUX COLORBOND MONUMENT
- POWDERCOATED STEEL DOWNPIPES, SPREADERS, RAINWATER HEADS, CAPPINGS AND FLASHINGS
COLOUR:
- DULUX COLORBOND DUNE
- (BR) GB HONED MASONRY, PEBBLE
- (EB) COLORBOND, MONUMENT
- (GS) GALVANISED STEEL PERFORATED SHEET
- (LS) POWDERCOATED METAL LOUVRE SCREEN
COLOR: COLORBOND DUNE
- (TW) TRIMDEK METAL ROOFING
COLOUR: COLORBOND SURFMIST

FOR TENDER

DATE	REVISION	BY:
12/08/22	00 FOR TENDER	RP
22/08/22	01 FOR TENDER	RP

Builders / Contractors shall verify all dimensions before the commencement of any works. Figured dimensions shall take precedence over scaled work. Any discrepancies shall be brought to the attention of the Architect. Refer to Schedules for materials, finishes, fittings and fixture codes and selections. This drawing to be read in conjunction with the Specification, Schedules and other drawings. Works shall conform with NCC, Australian Standards, Authority Requirements and relevant manufacturer requirements unless otherwise noted.



CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: AR400
REVISION: 01

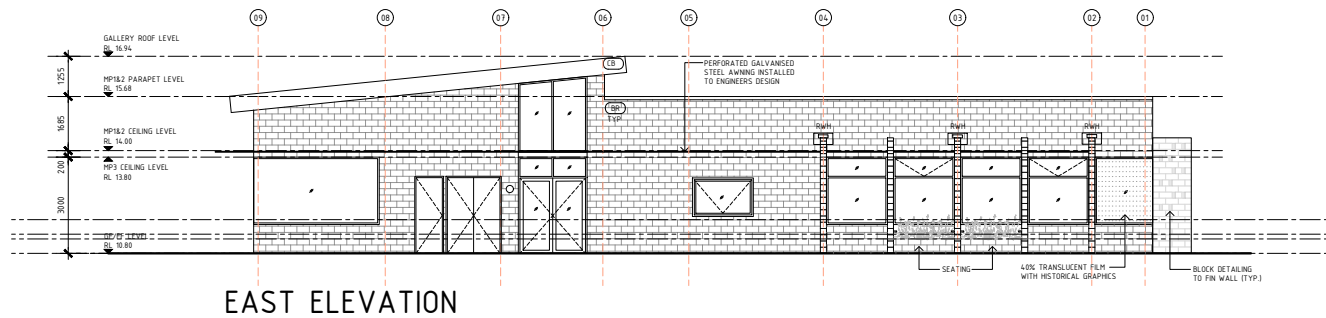
DRAWING TITLE:
PROPOSED EXTERIOR ELEVATIONS

JOB No: 21047
SCALE: 1:100@A2

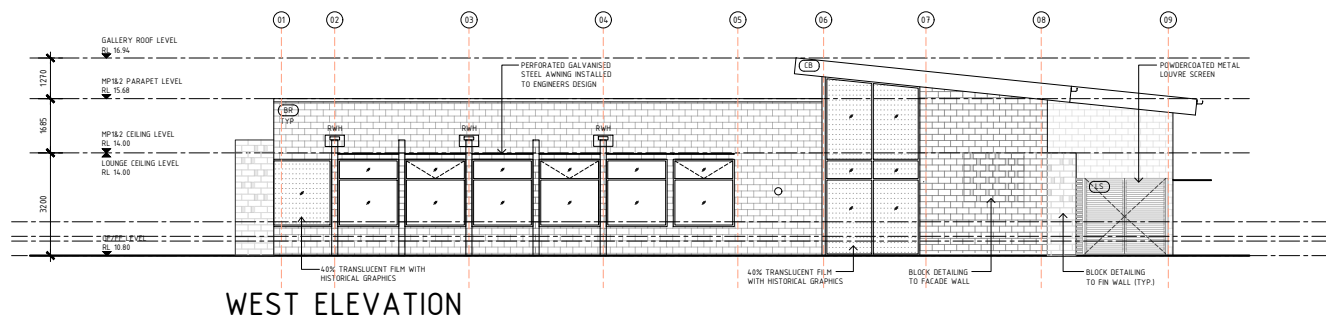
DRAWN BY: NS/JWO
CHECKED: NH

DATE: MAY 2022
SHEET No: 1 OF 2

n2sh
Unit 2, 588 Whitehorse Rd
Mitcham VIC 3112 Australia
+61 (0)3 9059 7218 | +61 (0) 413 730 655
n2sh@n2sh.net | www.n2sh.net
10/29 Pty. Ltd. ABN: 20 608 600 196



EAST ELEVATION



WEST ELEVATION

LEGEND

- POWDERCOATED ALUMINIUM ALL EXTERIOR WINDOW FRAMES
COLOUR:
DULUX COLORBOND WALLABY
- POWDERCOATED ALUMINIUM ALL EXTERIOR DOOR FRAMES
COLOUR:
- DULUX COLORBOND WALLABY
- EXTERIOR TYPE PAINTED ALL EXTERIOR DOORS
COLOUR:
- DULUX COLORBOND WALLABY
- POWDERCOATED STEEL FASCIA
COLOUR:
- DULUX COLORBOND MONUMENT
- POWDERCOATED STEEL DOWNPIPES, SPREADERS, RAINWATER HEADS, CAPPINGS AND FLASINGS
COLOUR:
- DULUX COLORBOND DUNE
- (BR) GB HONED MASONRY, PEBBLE
- (CB) COLORBOND, MONUMENT
- (CS) GALVANISED STEEL PERFORATED SHEET
- (LS) POWDERCOATED METAL LOUVRE SCREEN
COLOR: COLORBOND DUNE
- (TW) TRIMDEK METAL ROOFING
COLOR: COLORBOND SURFMIST

FOR TENDER

DATE	REVISION	BY:
12/08/22	00: FOR TENDER	RP
22/08/22	01: FOR TENDER	RP

Builders / Contractors shall verify all dimensions before the commencement of any works. Figured dimensions shall take precedence over scaled work. Any discrepancies shall be brought to the attention of the Architect. Refer to Schedules for materials, finishes, fittings and fixture codes and selections. This drawing to be read in conjunction with the Specification, Schedules and other drawings. Works shall conform with NCC, Australian Standards, Authority Requirements and relevant manufacturer requirements unless otherwise noted.



CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No:
AR401 01

REVISION:
01

DRAWING TITLE:
PROPOSED EXTERIOR ELEVATIONS

JOB No:
21047

SCALE:
1:100@A2

DRAWN BY:
NS/JWO

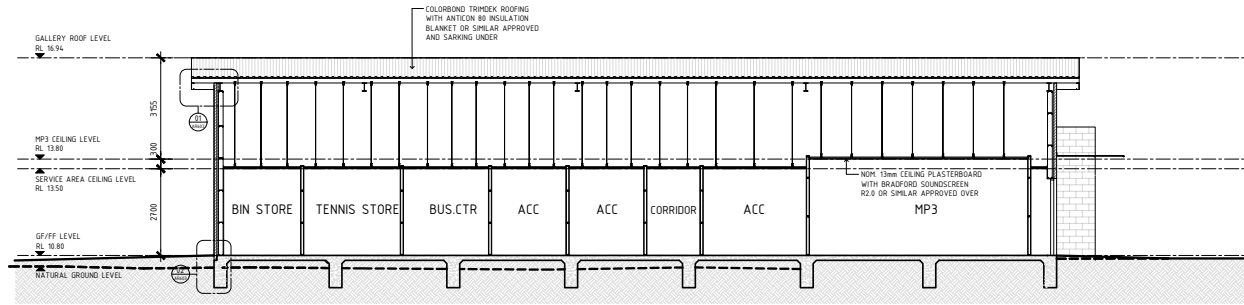
CHECKED:
NH

DATE:
MAY 2022

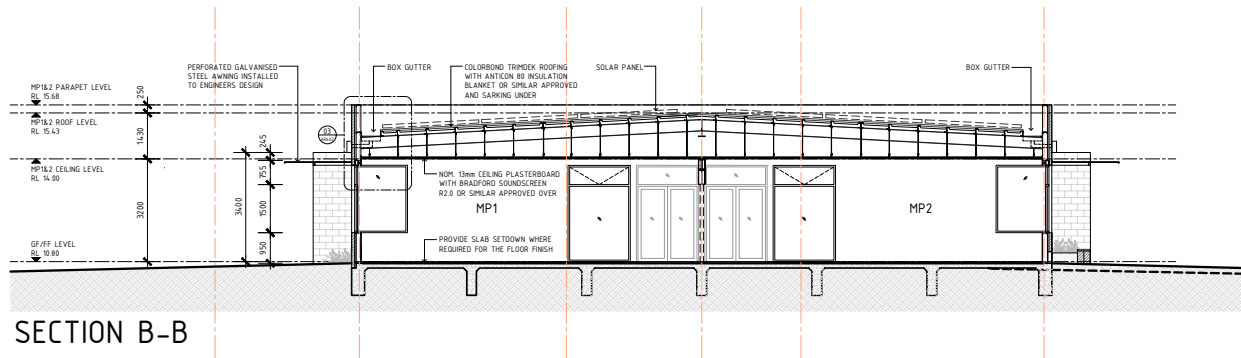
SHEET No:
2 OF 2

n2sh
Unit 2, 588 Whitehorse Rd
Mitcham VIC 3112 Australia
+61 (0)3 9059 7218 | +61 (0) 413 730 655
n2sh@n2sh.net | www.n2sh.net
10/29 Pty. Ltd. ABN: 20 608 600 196

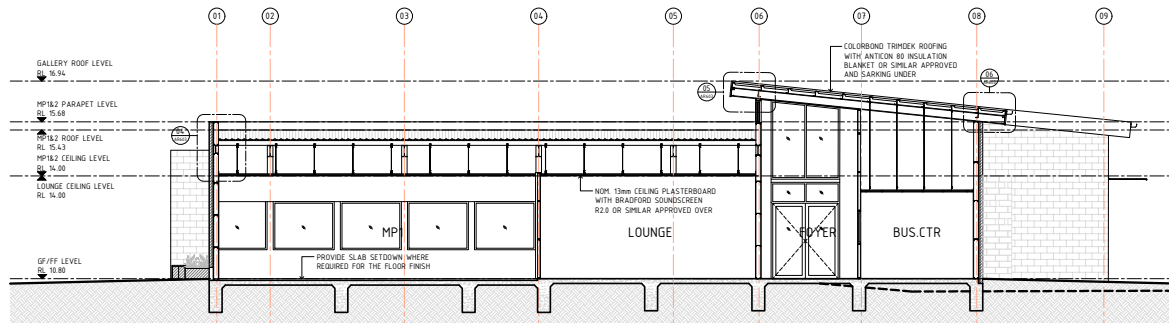
SARKING USED FOR WEATHERPROOFING OF ROOFS AND WALLS TO BE IN ACCORDANCE WITH AS 4200.1 AND AS 4200.2.



SECTION A-A



SECTION B-B



SECTION C-C

FOR TENDER

DATE	REVISION	BY:
12/08/22	00 - FOR TENDER	RF

Builders / Contractors shall verify all dimensions before the commencement of any works. Figured dimensions shall take precedence over scaled work. Any discrepancies shall be brought to the attention of the Architect. Refer to Schedules for materials, finishes, fittings and fixture codes and selections. This drawing to be read in conjunction with the Specification, Schedules and other drawings. Works shall conform with NCC, Australian Standards, Authority Requirements and relevant manufacturer requirements unless otherwise noted.



CLIENT:
HOBSONS BAY CITY COUNCIL

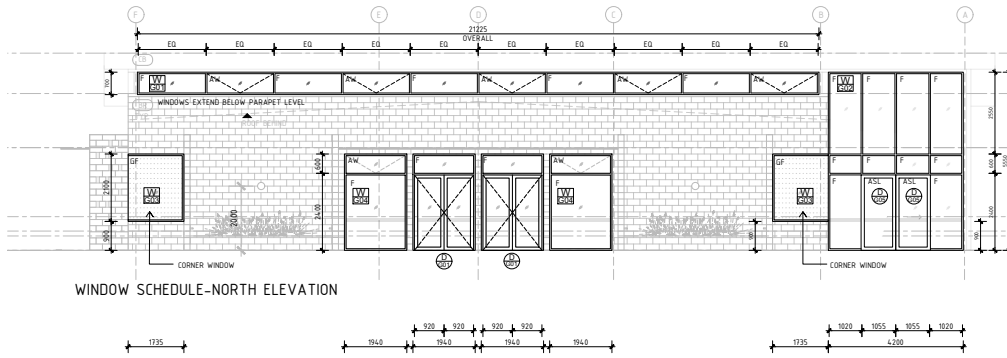
PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: AR500
REVISION: 00

DRAWING TITLE: PROPOSED SECTIONS

JOB No: 21047
DRAWN BY: NS / RF
CHECKED: NH
DATE: JUN 2022
SCALE: 1:100 @ A2
SHEET No: 1 OF 1

N2SH STUDIO
n2sh
Unit 2, 586 Whitehouse Rd
Mitcham VIC 3112 Australia
+61 (0)3 9059 7218 | +61 (0) 413 730 655
info@n2sh.net | www.n2sh.net
10289 Pty. Ltd. ABN: 20 668 600 196

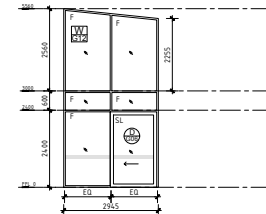


WINDOW SCHEDULE-NORTH ELEVATION

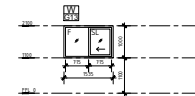


WINDOW SCHEDULE-SOUTH ELEVATION

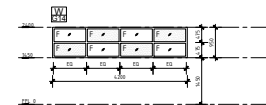
INTERIOR - GLAZED SCREENS



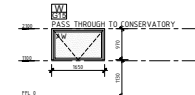
FOYER ENTRANCE
FINISH: CLEAR GLASS
FRAME: POWDERCOATED ALUMINIUM COLORBOND COLOUR WALLABY



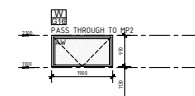
BUSINESS CENTRE
FINISH: STIPPLED GLASS
FRAME: POWDERCOATED TIMBER LOOK ALUMINIUM DECOWOOD COLOUR NATURAL MAPLE
NOTE: VIEW LOOKING FROM BUSINESS CENTRE



LOUNGE
FINISH: STIPPLED/CLEAR GLASS
FRAME: POWDERCOATED TIMBER LOOK ALUMINIUM DECOWOOD COLOUR NATURAL MAPLE



KITCHEN
FINISH: STIPPLED GLASS
FRAME: POWDERCOATED TIMBER LOOK ALUMINIUM DECOWOOD COLOUR NATURAL MAPLE
NOTE: MONARCH RENLITA GAS STRUT SINGLE LEAF OR SIMILAR APPROVED



KITCHEN
FINISH: STIPPLED GLASS
FRAME: POWDERCOATED TIMBER LOOK ALUMINIUM DECOWOOD COLOUR NATURAL MAPLE
NOTE: MONARCH RENLITA GAS STRUT SINGLE LEAF OR SIMILAR APPROVED

FINISHES SCHEDULE

ALL EXTERIOR DOOR FRAMES:
POWDERCOATED ALUMINIUM
COLOUR: DULUX COLORBOND WALLABY

ALL EXTERIOR DOORS:
EXTERIOR TYPE PAINTED
COLOUR: DULUX COLORBOND WALLABY

ALL INTERIOR DOOR FRAMES:
DECO WOOD TIMBER LOOK ALUMINIUM
COLOUR: NATURAL MAPLE

ALL INTERIOR DOORS:
INTERIOR TYPE PAINTED
COLOUR: DULUX COLORBOND WARM NEUTRAL

ALL INTERIOR WINDOW FRAMES:
DECO WOOD TIMBER LOOK ALUMINIUM
COLOUR: NATURAL MAPLE

ALL EXTERIOR WINDOW FRAMES:
POWDERCOATED ALUMINIUM
COLOUR: DULUX COLORBOND WALLABY

TAG LEGEND

- WINDOW TAG
- BAY OF PANELS TAG
- DOOR TAG
- OPERABLE WALL

ABBREVIATIONS

- ASL DORMA ES 200 AUTOMATIC SLIDING DOOR OPERATOR
- AW CLEAR GLAZED AWNING WINDOW TO BE MOTORISED IF HIGHER THAN 2100mm
- DG DOOR GRILLE
- F CLEAR GLAZED FIXED WINDOW
- GL CLEAR GLAZED VIEWING PANEL
- GF GLAZING FILM
- XP NOM 150mm/1000mm HIGH GALVANIZED STEEL KICK PLATE
- SL SLIDING DOOR
- SP SOLID OPERABLE WALL PANEL
- ST STIPPLED GLASS

WINDOW FRAMES TO BE NOM 100mm POWDERCOATED ALUMINIUM SYSTEM CAPRAL 419 FLUSHLINE DOUBLE GLAZED OR SIMILAR APPROVED.
ALL GLAZING SYSTEMS TO ACHIEVE THE FOLLOWING:
U-VALUE: 4.2
SHGC: 0.81

ALL WINDOWS AND DOORS TO BE FITTED WITH AIR INFILTRATION SEALS IN ACCORDANCE WITH 13.4(C) OF THE NCC.

ALL EXTERNAL WINDOWS TO BE PROVIDED WITH APPROVED FLASHINGS.

ALL GLAZING TO COMPLY WITH AS 1288-2006.

CONTRACTOR TO PROVIDE VISUAL INDICATORS TO FRAMELESS OR FULLY GLAZED DOORS, SIDELIGHTS AND WINDOWS IN ACCORDANCE WITH CLAUSE 3.6 OF AS 1428.1.

POWER OPERATED SLIDING EXIT DOORS (D.G05 & D.G06) MUST OPEN

FOR TENDER

DATE	REVISION	BY:
12/08/22	00 FOR TENDER	JZ



Builders / Contractors shall verify all dimensions before the commencement of any works. Figured dimensions shall take precedence over scaled work. Any discrepancies shall be brought to the attention of the Architect. Refer to Schedules for materials, finishes, fittings and fixture codes and selections. This drawing to be read in conjunction with the Specification, Schedules and other drawings. Works shall conform with NCC, Australian Standards, Authority Requirements and relevant manufacturer requirements unless otherwise noted.

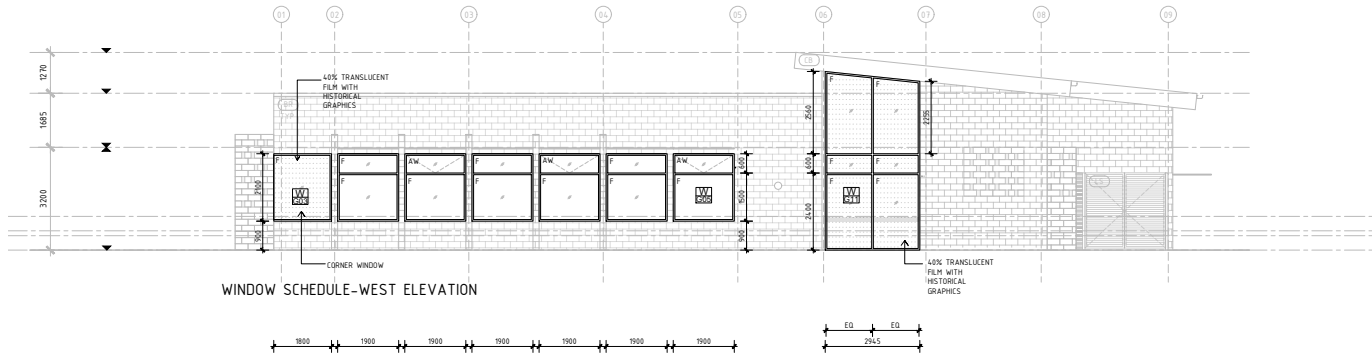
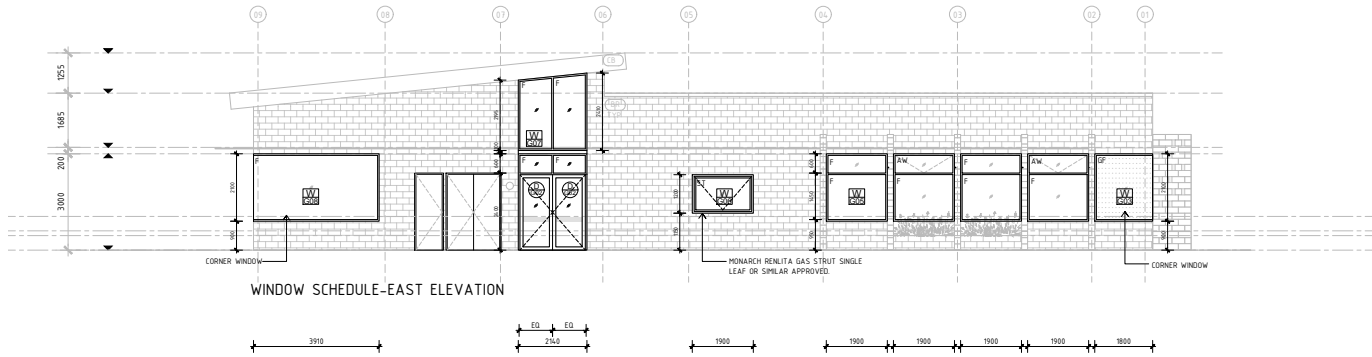


CLIENT: HOBSONS BAY CITY COUNCIL
PROJECT: DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: AR600
REVISION: 00
DRAWING TITLE: WINDOW TYPES

JOB No: 21047
DRAWN BY: NS / JZ
DATE: JUN 2022
SCALE: 1:100@A2
CHECKED: NH
SHEET No: 1 OF 3





FINISHES SCHEDULE

ALL EXTERIOR DOOR FRAMES:
POWDERCOATED ALUMINUM
COLOUR: DULUX COLORBOND 'WALLABY'

ALL EXTERIOR DOORS:
EXTERIOR TYPE PAINTED
COLOUR: DULUX COLORBOND 'WALLABY'

ALL INTERIOR DOOR FRAMES:
DECO WOOD TIMBER LOOK ALUMINUM
COLOUR: NATURAL MAPLE

ALL INTERIOR DOORS:
INTERIOR TYPE PAINTED
COLOUR: DULUX COLORBOND 'WARM NEUTRAL'

ALL INTERIOR WINDOW FRAMES:
DECO WOOD TIMBER LOOK ALUMINUM
COLOUR: NATURAL MAPLE

ALL EXTERIOR WINDOW FRAMES:
POWDERCOATED ALUMINUM
COLOUR: DULUX COLORBOND 'WALLABY'

TAG LEGEND

- WINDOW TAG
- BAY OF PANELS TAG
- DOOR TAG
- OPERABLE WALL

ABBREVIATIONS

- ASL DORMA ES 200 AUTOMATIC SLIDING DOOR OPERATOR
- AW CLEAR GLAZED AWNING WINDOW TO BE MOTORISED IF HIGHER THAN 2100mm
- DG DOOR GRILLE
- F CLEAR GLAZED FIXED WINDOW
- GL CLEAR GLAZED VIEWING PANEL
- GF GLAZING FILM
- HP NOM. 150mm/1000mm HIGH GALVANIZED STEEL KICK PLATE
- SL SLIDING DOOR
- SP SOLID OPERABLE WALL PANEL
- ST STIPPLED GLASS

WINDOW FRAMES TO BE NOM. 100mm POWDERCOATED ALUMINUM SYSTEM: CAPRAL 4 TD FLUSHLINE DOUBLE GLAZED OR SIMILAR APPROVED.
ALL GLAZING SYSTEMS TO ACHIEVE THE FOLLOWING:
U-VALUE: 4.2
SHGC: 0.81

ALL WINDOWS AND DOORS TO BE FITTED WITH AIR INFILTRATION SEALS IN ACCORDANCE WITH JS4101 OF THE NCC.

ALL EXTERNAL WINDOWS TO BE PROVIDED WITH APPROVED FLASHINGS.

ALL GLAZING TO COMPLY WITH AS 1288-2006.

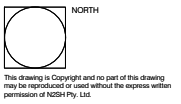
CONTRACTOR TO PROVIDE VISUAL INDICATORS TO FRAMELESS OR FULLY GLAZED DOORS, SIDELIGHTS AND WINDOWS IN ACCORDANCE WITH CLAUSE 3.6 OF AS 1428.1.

FOR TENDER

DATE	REVISION	BY:
13/08/22	00: FOR TENDER	JZ



Builders / Contractors shall verify all dimensions before the commencement of any works. Figured dimensions shall take precedence over scaled work. Any discrepancies shall be brought to the attention of the Architect. Refer to Schedules for materials, finishes, fittings and fixtures codes and selections. This drawing to be read in conjunction with the Specification, Schedules and other drawings. Works shall conform with NCC, Australian Standards, Authority Requirements and relevant manufacturer requirements unless otherwise noted.



CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No:
AR601

REVISION:
00

DRAWING TITLE:
WINDOW TYPES

JOB No:
21047

SCALE:
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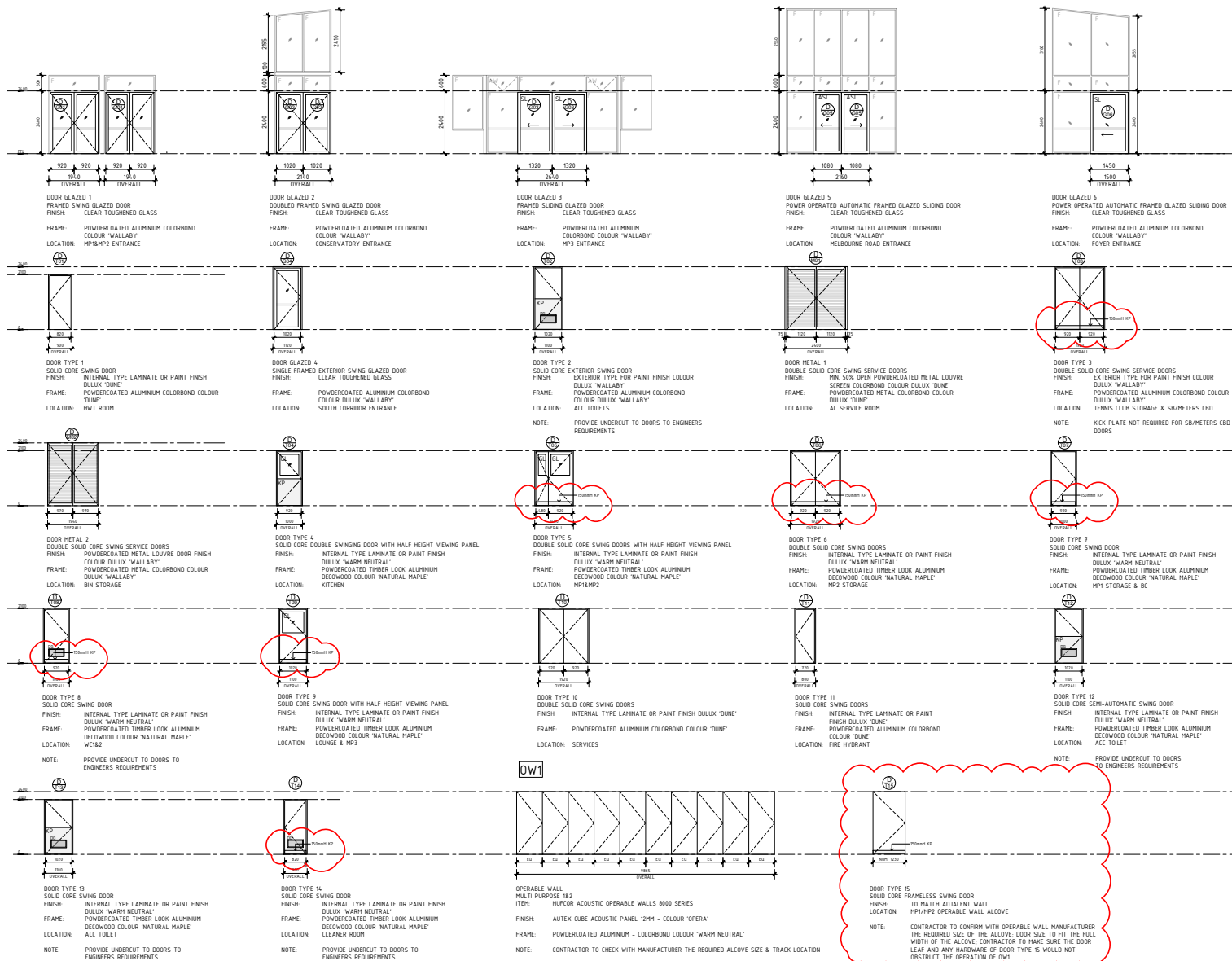
DRAWN BY:
NS / JZ

CHECKED:
NH

DATE:
JUN 2022

SHEET No:
2 OF 3





FINISHES SCHEDULE

ALL EXTERIOR DOOR FRAMES:
POWDERCOATED ALUMINIUM
COLOUR: DULUX COLORBOND 'WALLABY'

ALL EXTERIOR DOORS:
EXTERIOR TYPE PAINTED
COLOUR: DULUX COLORBOND 'WALLABY'

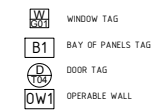
ALL INTERIOR DOOR FRAMES:
DECO WOOD TIMBER LOOK ALUMINIUM
COLOUR: NATURAL MAPLE

ALL INTERIOR DOORS:
INTERIOR TYPE PAINTED
COLOUR: DULUX COLORBOND 'WARM NEUTRAL'

ALL INTERIOR WINDOW FRAMES:
DECO WOOD TIMBER LOOK ALUMINIUM
COLOUR: NATURAL MAPLE

ALL EXTERIOR WINDOW FRAMES:
POWDERCOATED ALUMINIUM
COLOUR: DULUX COLORBOND 'WALLABY'

TAG LEGEND



ABBREVIATIONS

ASL DORMA ES 200 AUTOMATIC SLIDING DOOR OPERATOR
AW CLEAR GLAZED AWNING WINDOW
TO BE MOTORISED IF HIGHER THAN 2100mm
DG DOOR GRILLE
F CLEAR GLAZED FIXED WINDOW
GL CLEAR GLAZED VIEWING PANEL
GF GLAZING FILM
KP NOM. 150mm/1000mm HIGH GALVANIZED STEEL KICK PLATE
SL SLIDING DOOR
SP SOLID OPERABLE WALL PANEL
ST STIPPLED GLASS

WINDOW FRAMES TO BE NOM. 100mm POWDERCOATED ALUMINIUM SYSTEM CAPRAL 419 FLUSHLINE DOUBLE GLAZED OR SIMILAR APPROVED.
ALL GLAZING SYSTEMS TO ACHIEVE THE FOLLOWING:
U-VALUE: 4.2
SHGC: 0.81

ALL WINDOWS AND DOORS TO BE FITTED WITH AIR INFILTRATION SEALS IN ACCORDANCE WITH J3.4(C) OF THE NCC.

ALL EXTERNAL WINDOWS TO BE PROVIDED WITH APPROVED FLASHINGS.

ALL GLAZING TO COMPLY WITH AS 1288-2006.

CONTRACTOR TO PROVIDE VISUAL INDICATORS TO FRAMELESS OR FULLY GLAZED DOORS, SIDELIGHTS AND WINDOWS IN ACCORDANCE WITH CLAUSE 3.6 OF AS 1428.1.

POWER OPERATED SLIDING EXIT DOORS (D.G.05 & D.G.06) MUST OPEN AUTOMATICALLY IF THERE IS A POWER FAILURE TO THE DOORS OR ON ACTIVATION OF FIRE OR SMOKE ALARM. IT MUST BE ABLE TO BE OPENED MANUALLY UNDER A FORCE OF NOT MORE THAN 100N IF THERE IS A MALFUNCTION OF FAILURE OF THE POWER SOURCE.

DOOR TYPE SCHEDULE DRAWING TO BE READ IN CONJUNCTION WITH DOOR HARDWARE SCHEDULE.

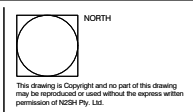
REFER TO MECHANICAL DRAWINGS FOR LOCATIONS OF DOOR GRILLES.

FOR TENDER

DATE	REVISION	BY
12/08/22	00: FOR TENDER	JZ
24/08/22	01: FOR TENDER	BP



Builders / Contractors shall verify all dimensions before the commencement of any works. Fixed dimensions shall take precedence over scaled work. Any discrepancies shall be brought to the attention of the Architect. Refer to Schedule for materials, finishes, lit/lite and fixture codes and selections. This drawing to be read in conjunction with the Specification, Schedule and other drawings. Works to conform with NCC, Australian Standards, Authority Requirements and relevant manufacturer requirements unless otherwise noted.



CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No:
AR602

REVISION:
01

DRAWING TITLE:
DOOR TYPES

JOB No:
21047

DRAWN BY:
NS / JZ

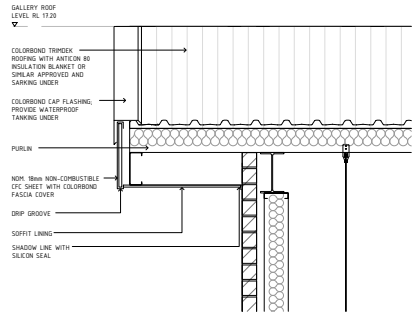
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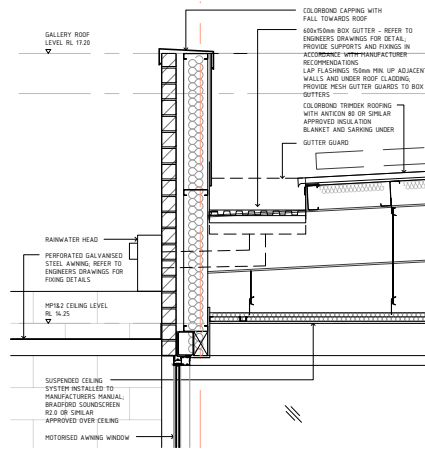
CHECKED:
NH

SHEET No:
3 OF 3

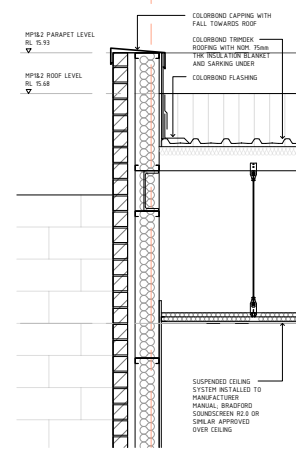
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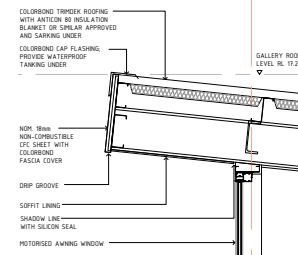
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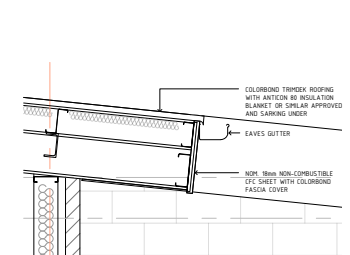
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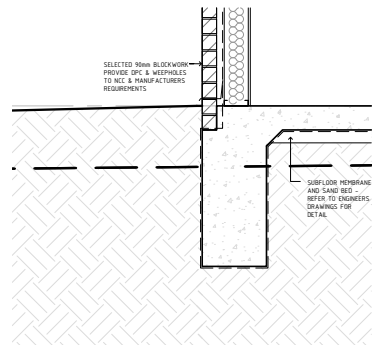
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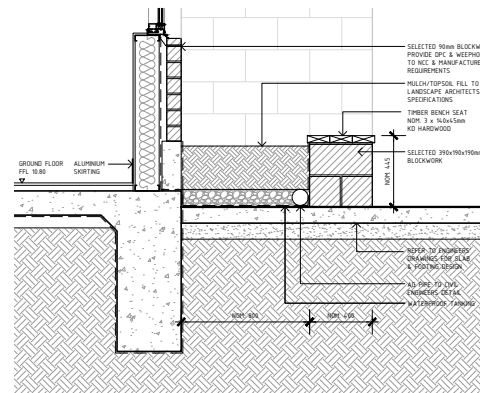
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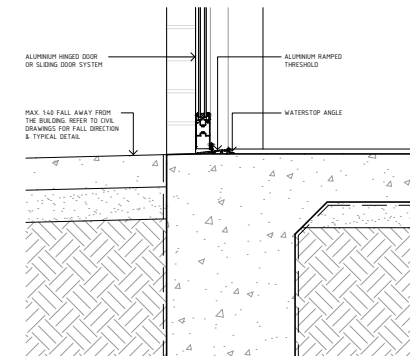
SECTION DETAIL 06 1:20



SECTION DETAIL 02 1:20



TYPICAL PLANTER BOX DETAIL 1:20



TYPICAL DOOR THRESHOLD DETAIL 1:10

SARKING USED FOR WEATHERPROOFING OF ROOFS AND WALLS TO BE IN ACCORDANCE WITH AS 4200.1 AND AS 4200.2.

FOR TENDER

DATE	REVISION	BY
12/08/22	00 FOR TENDER	RF



Builders / Contractors shall verify all dimensions before the commencement of any works. Priced dimensions shall take precedence over scaled work. Any discrepancies shall be brought to the attention of the Architect. Refer to Schedules for materials, finishes, fittings and fixture codes and selections. This drawing to be read in conjunction with the Specification, Schedules and other drawings. Works shall conform with NCC, Australian Standards, Authority Requirements and relevant manufacturer requirements unless otherwise noted.

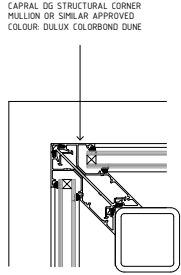


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PROJECT: DENNIS RESERVE MULTIPURPOSE FACILITY

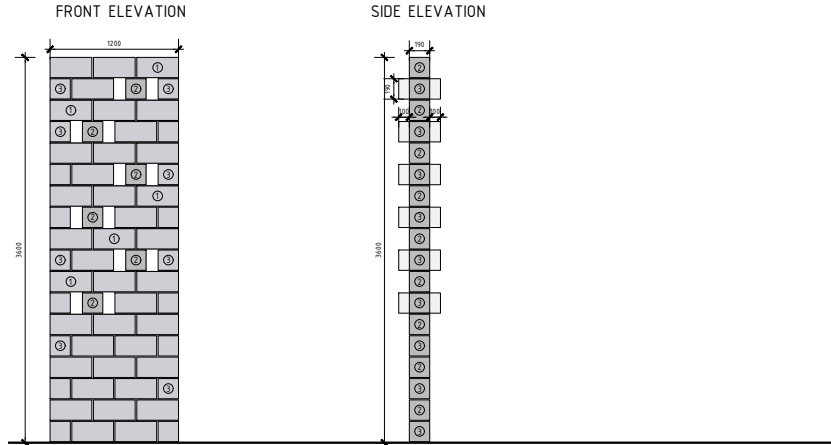
DRAWING No: AR603
REVISION: 00
DRAWING TITLE: SECTION DETAILS

JOB No: 21047
DRAWN BY: RF
DATE: MAY 2022
SCALE: 1:20 @ A2
CHECKED: NH
SHEET No: 1 OF 1

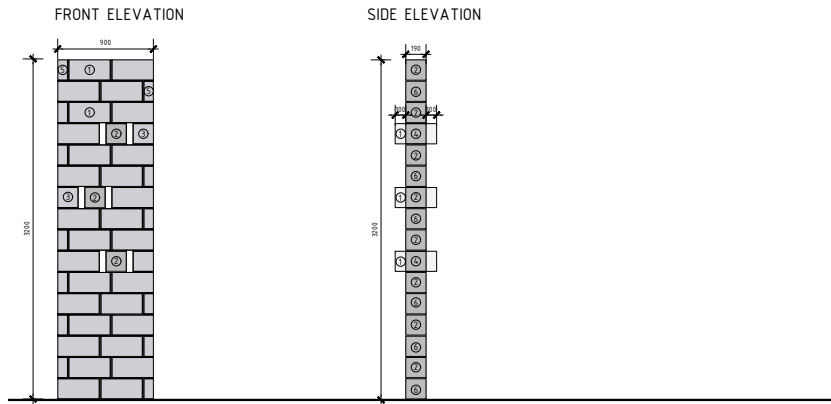




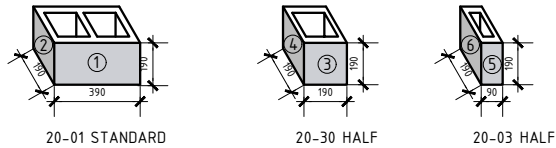
PLAN DETAIL 01 1:5



TYPICAL FIN WALL DETAIL TO EAST WEST & NORTH WALL



TYPICAL FIN WALL DETAIL TO SOUTH WALL



FOR TENDER

DATE	REVISION	BY:
12/08/22	00 FOR TENDER	RF/NC



Builders / Contractors shall verify all dimensions before the commencement of any works. Figured dimensions shall take precedence over scaled work. Any discrepancies shall be brought to the attention of the Architect. Refer to Schedules for materials, finishes, fittings and fixture codes and selections. This drawing to be read in conjunction with the Specification, Schedules and other drawings. Works shall conform with AS/NZS Australian Standards, Authority Requirements and relevant manufacturer requirements unless otherwise noted.



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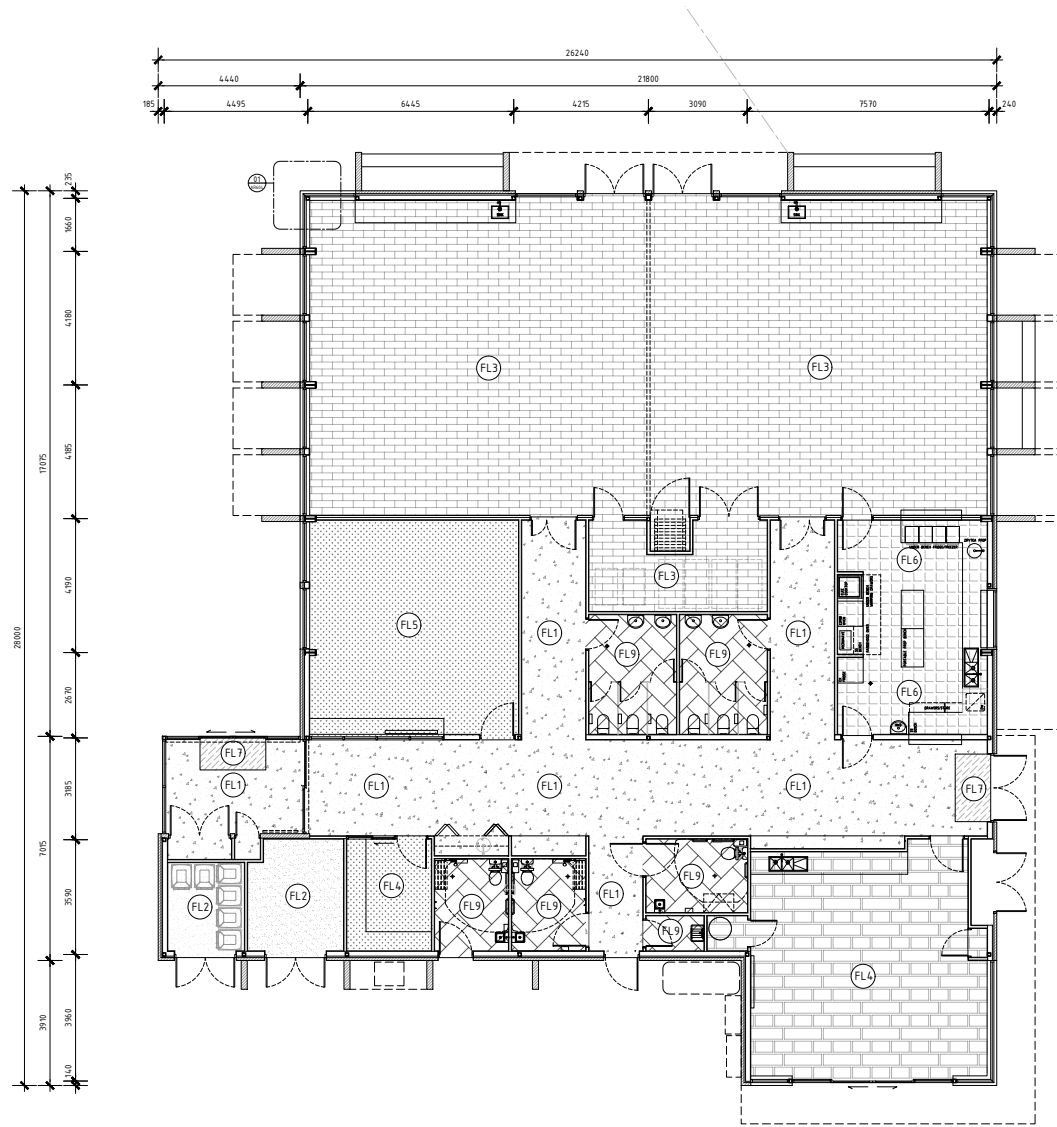
PROJECT:
DENNIS RESERVE
MULTIPURPOSE FACILITY

DRAWING No: AR604
REVISION: 00

DRAWING TITLE:
PLAN & TYPICAL DETAILS

JOB No: 21047
SCALE: 1:20 @ A2
DRAWN BY: RF
CHECKED: NH
DATE: MAY 2022
SHEET No: 1 OF 1





LEGEND

- (FL1) POLISHED CONCRETE
- (FL2) BROOM FINISHED CONCRETE
- (FL3) SOLID TIMBER PLANK
- (FL4) VINYL TIMBER PLANK
- (FL5) CARPET TILES
- (FL6) NON SLIP VINYL
- (FL7) ENTRANCE MAT
- (FL9) SAFETY VINYL

REFER TO INTERIOR FINISHES SCHEDULE FOR FLOOR FINISHES DETAILS. CONTRACTOR TO ALLOW FOR SLAB SETDOWN WHERE REQUIRED.

FOR TENDER

DATE	REVISION	BY:
12/08/22	00 FOR TENDER	SH



Builders / Contractors shall verify all dimensions before the commencement of any works. Figured dimensions shall take precedence over scaled work. Any discrepancies shall be brought to the attention of the Architect. Refer to Schedules for materials, finishes, fittings and fixtures codes and selections. This drawing to be read in conjunction with the Specification, Schedules and other drawings. Works shall conform with NCC, Australian Standards, Authority Requirements and relevant manufacturer requirements unless otherwise noted.

NORTH

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PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: AR700
REVISION: 01

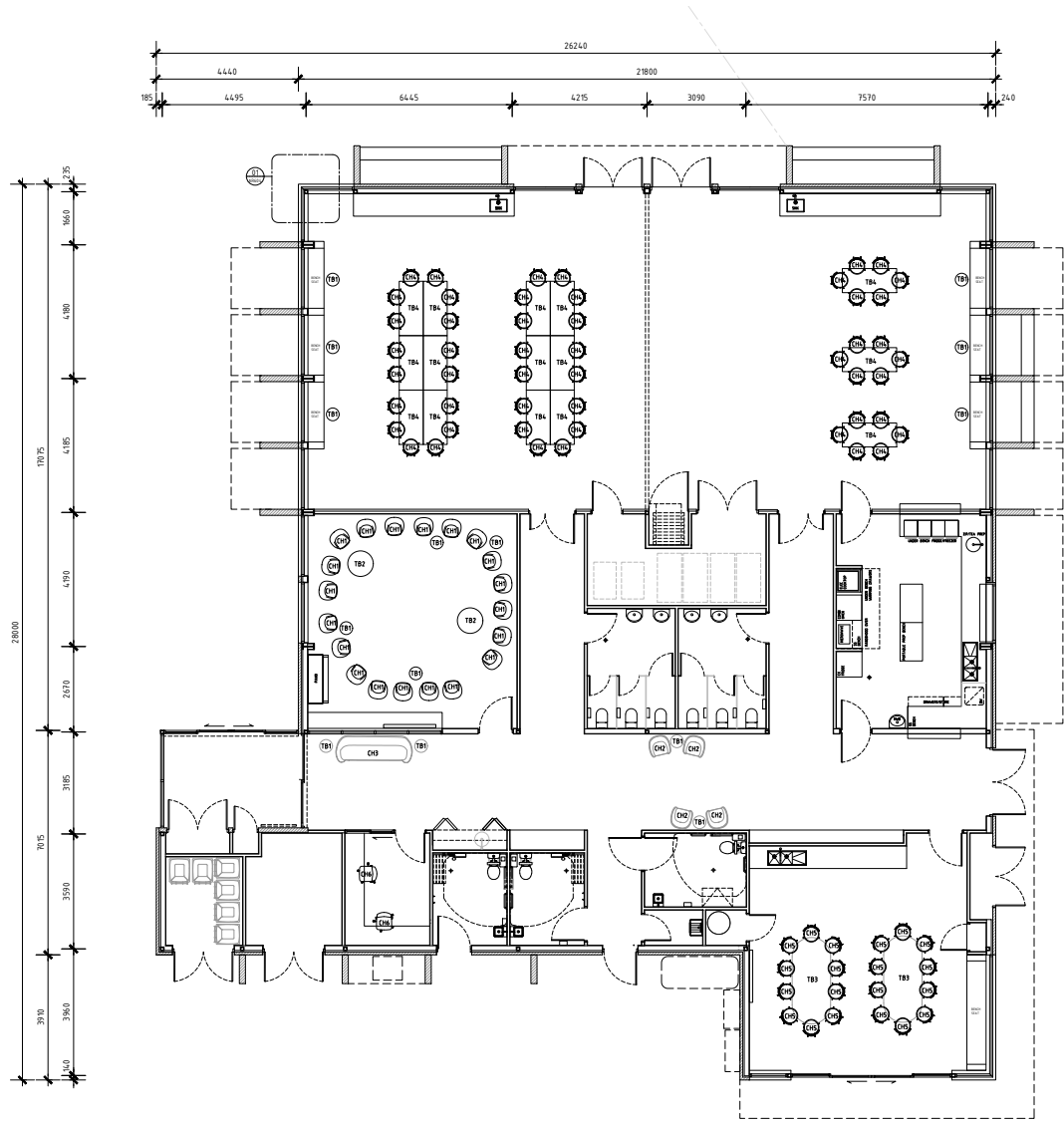
DRAWING TITLE:
FLOOR FINISHES PLAN

JOB No: 21047
DRAWN BY: MB
DATE: JUN 2022

SCALE: 1:100 @ A2
CHECKED: RF
SHEET No: 1 OF 1

N2SH STUDIO

n2sh
Unit 2, 586 Whitehorse Rd
Mitcham VIC 3112 Australia
+61 (0)3 8898 9827 | +61 (0) 413 730 655
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10/281 Pty. Ltd. ABN 20 968 000 196



FOR TENDER

DATE	REVISION	BY
23/06/22	02 FOR TENDER	MB

<https://www.hobsonsbaycouncil.vic.gov.au>

Builders / Contractors shall verify all dimensions before the commencement of any works. Figure dimensions shall take precedence over scaled work. Any discrepancies shall be brought to the attention of the Architect. Refer to Schedules for materials, finishes, fittings and fixture codes and selections. This drawing to be read in conjunction with the Specification, Schedules and other drawings. Works shall conform with NCC, Australian Standards, Authority Requirements and relevant manufacturer requirements unless otherwise noted.



CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No:
AR701

REVISION:
00

DRAWING TITLE:
PROPOSED FURNITURE PLAN

JOB No:
21047

DRAWN BY:
MB

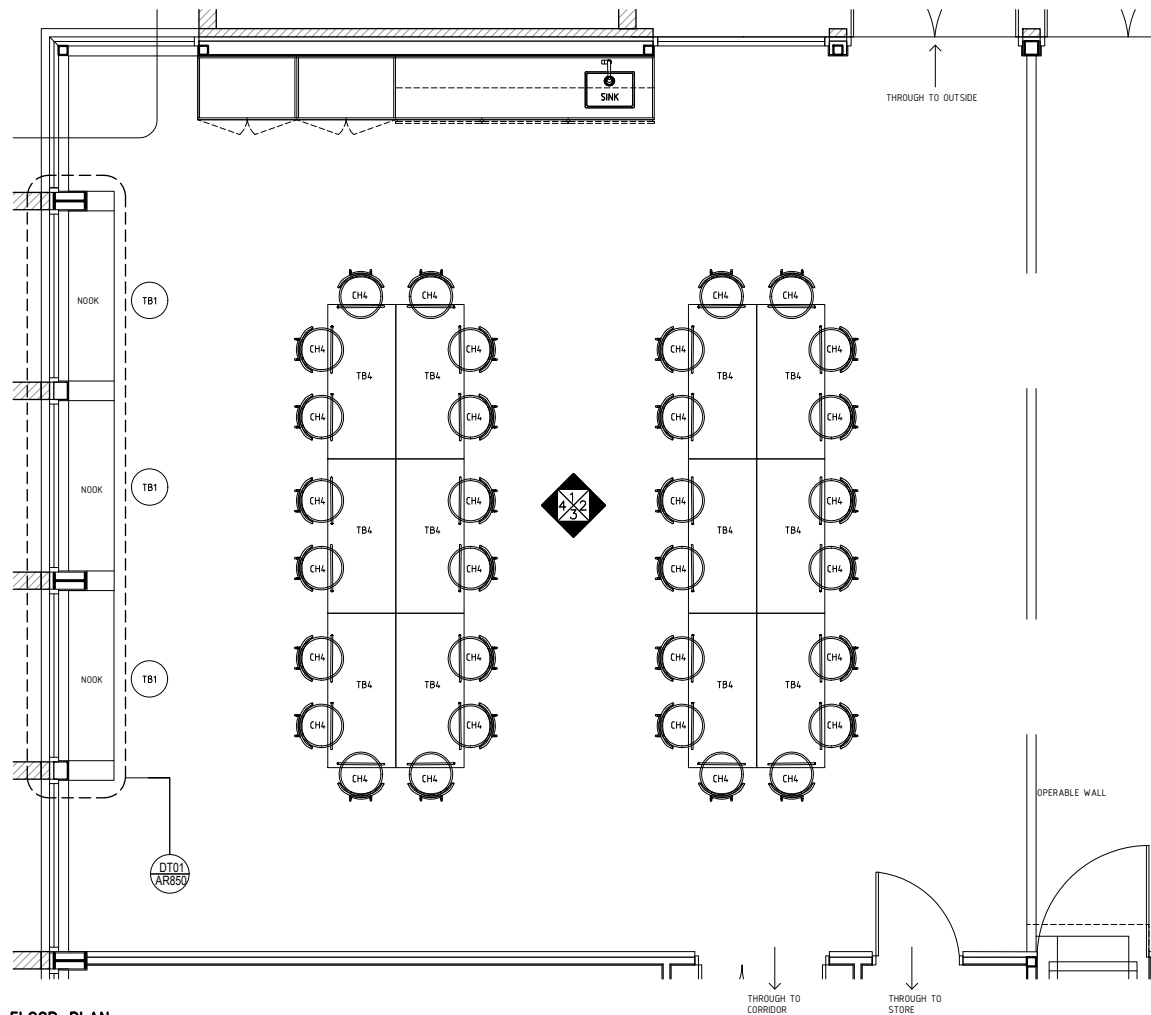
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DATE:
JUN 2022

SCALE:
1:100 @ A2

SHEET No:
1 OF 1

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Mitcham VIC 3112 Australia
+61 (0)3 9068 7118 | +61 (0) 413 735 655
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FLOOR PLAN
MULTIPURPOSE 1

NOTE:
REFER TO INTERIORS SCHEDULE FOR ALL FINISHES, FIXTURES AND FURNITURE CODES.

ALL JOINERY IS TO BE LOCKABLE AS PER COUNCIL REQUIREMENT.

ABBREVIATIONS:

- AS ADJUSTABLE SHELF
- AW AWNING WINDOW
- CH CHAIR
- CL CENTER LINE
- FP FIXED PANEL
- F FIXED WINDOW
- FS FIXED SHELF
- LA LAMINATE
- PT PAINT
- SK SKIRTING
- SS STAINLESS STEEL
- ST STIPPLED GLASS WINDOW
- TA TABLE
- TF TIMBER FINISH
- TL TILE
- TP TOILET PARTITION
- WC WALL COVERING

FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY
CITY COUNCIL

PROJECT:
DENNIS RESERVE
MULTIPURPOSE FACILITY

DRAWING No: AR800
REVISION: 00

DRAWING TITLE:
ROOM LAYOUT SHEET
MULTIPURPOSE 1

JOB No: 21047

DRAWN BY: MB

DATE: JUN 2022

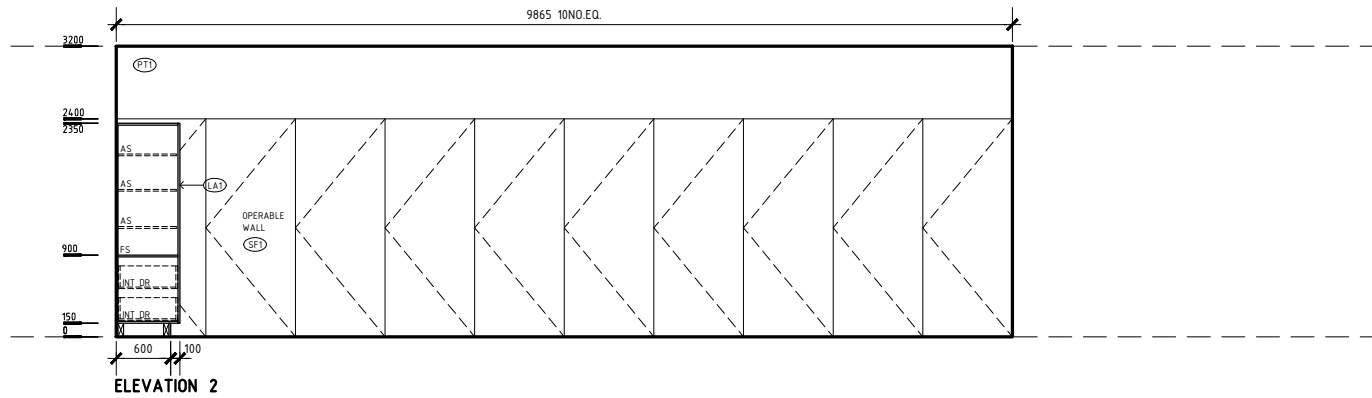
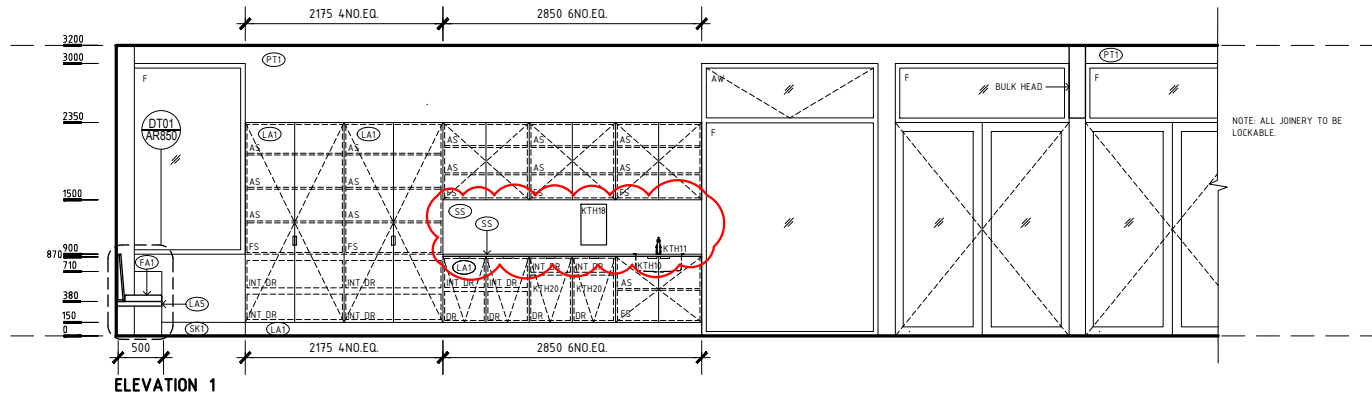
SCALE: 1:50 @ A3

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SHEET No: 1 OF 29

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Mitcham VIC 3132 Australia
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DATE:	REVISION:	BY:
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22/08/22	01: FOR TENDER	RF

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR801** REVISION: **01**

DRAWING TITLE:
ROOM LAYOUT SHEET MULTIPURPOSE 1

JOB No: **21047**

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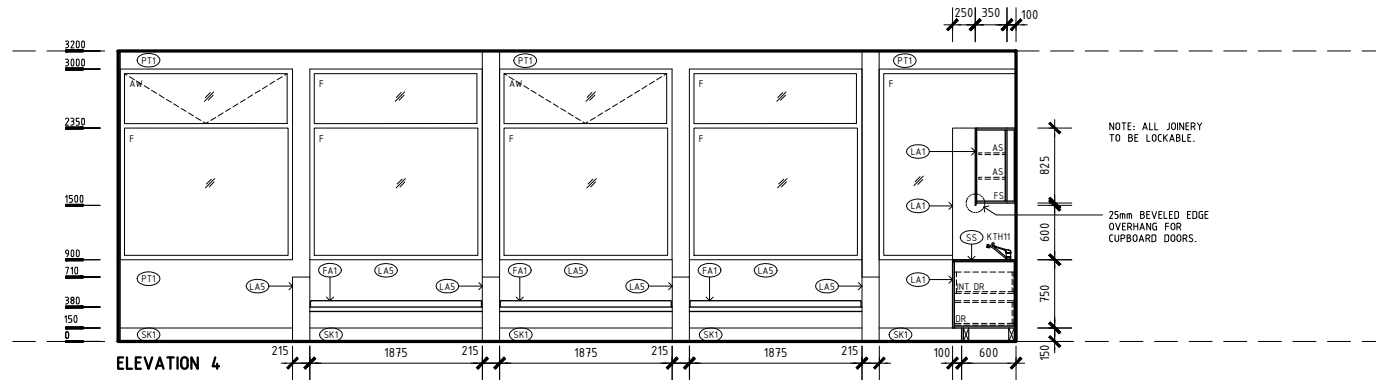
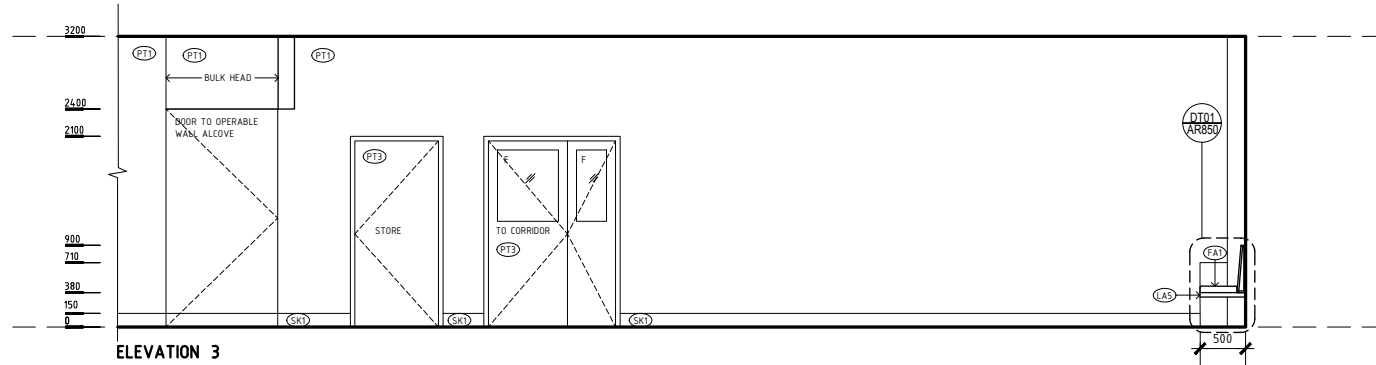
DRAWN BY: **MB**

CHECKED: **HM / SH**

DATE: **AUG 2022**

SHEET No: **2 OF 29**

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FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR802** REVISION: **00**

DRAWING TITLE:
ROOM LAYOUT SHEET MULTIPURPOSE 1

JOB No: **21047**

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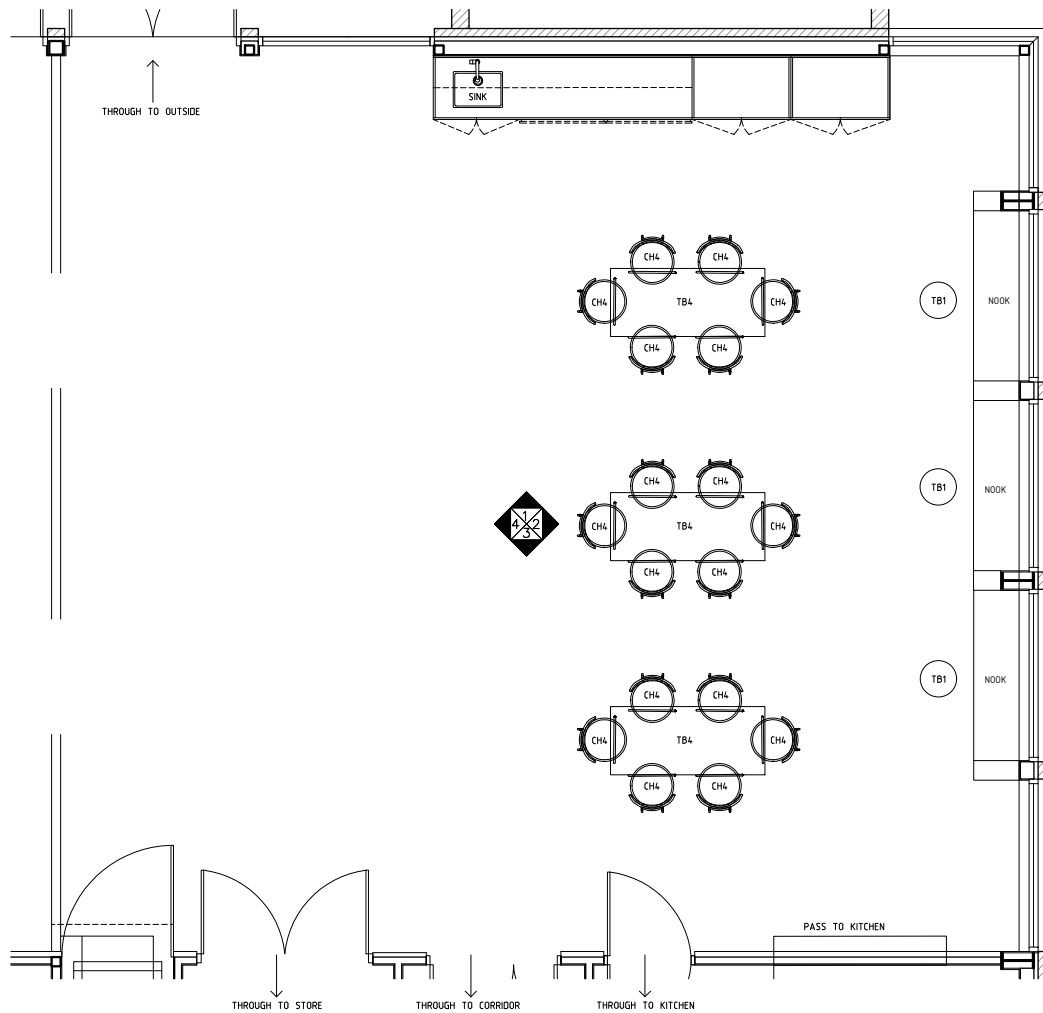
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DATE: **JUN 2022**

SHEET No: **3 OF 29**


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FLOOR PLAN
MULTIPURPOSE 2

FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR803** REVISION: **00**

DRAWING TITLE:
ROOM LAYOUT SHEET MULTIPURPOSE 2

JOB No:
21047

DRAWN BY:
MB

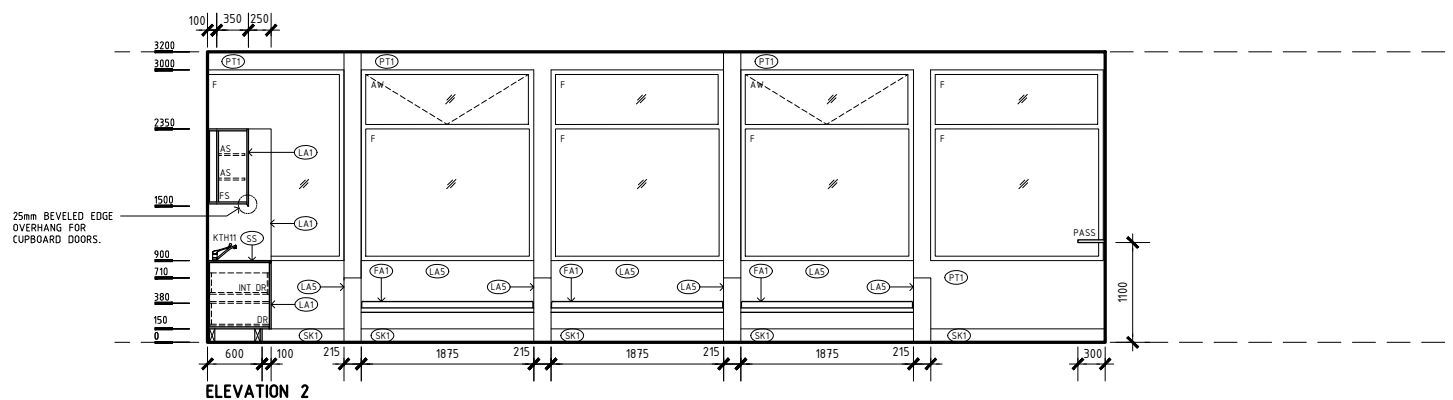
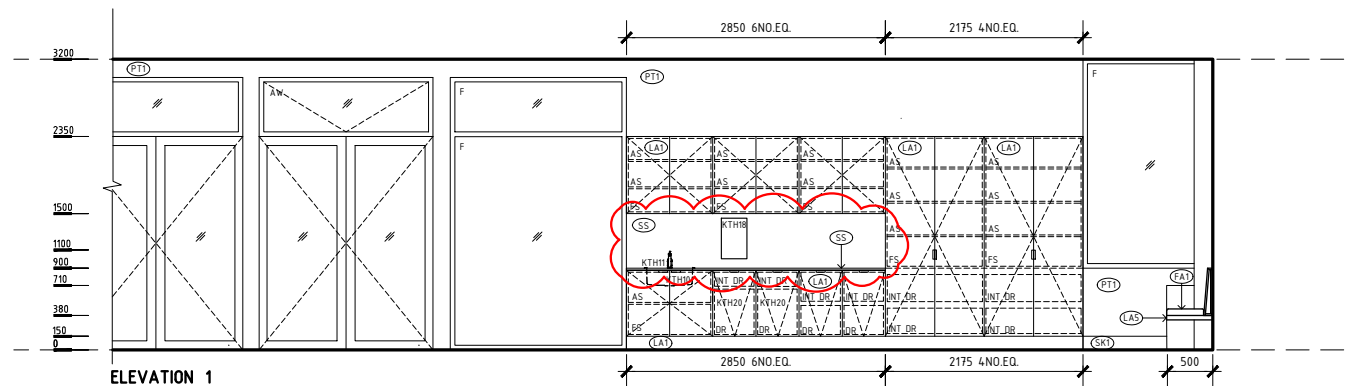
DATE:
JUN 2022

SCALE:
1:50 @ A3

CHECKED:
HM / SH

SHEET No:
4 OF 29

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FOR TENDER

DATE:	REVISION:	BY:
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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR804** REVISION: **01**

DRAWING TITLE:
ROOM LAYOUT SHEET MULTIPURPOSE 2

JOB No: **21047**

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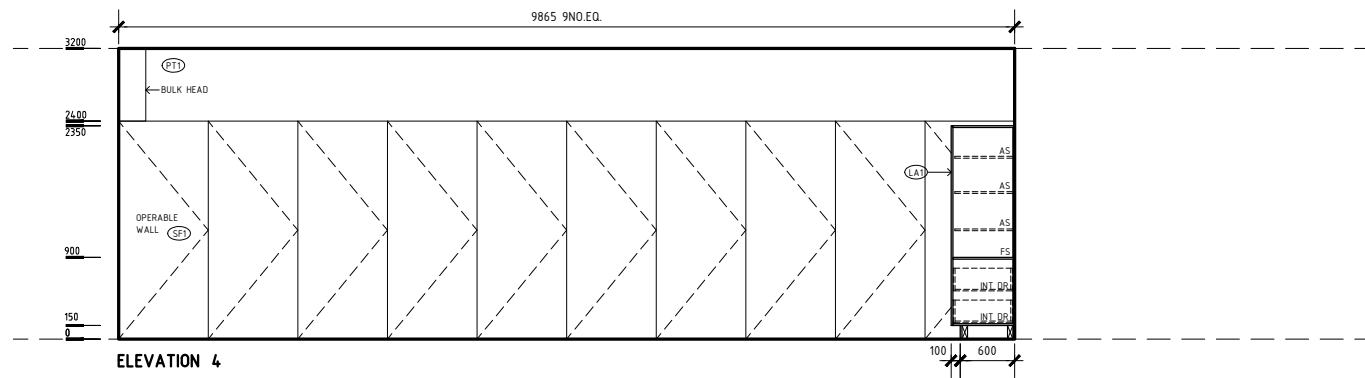
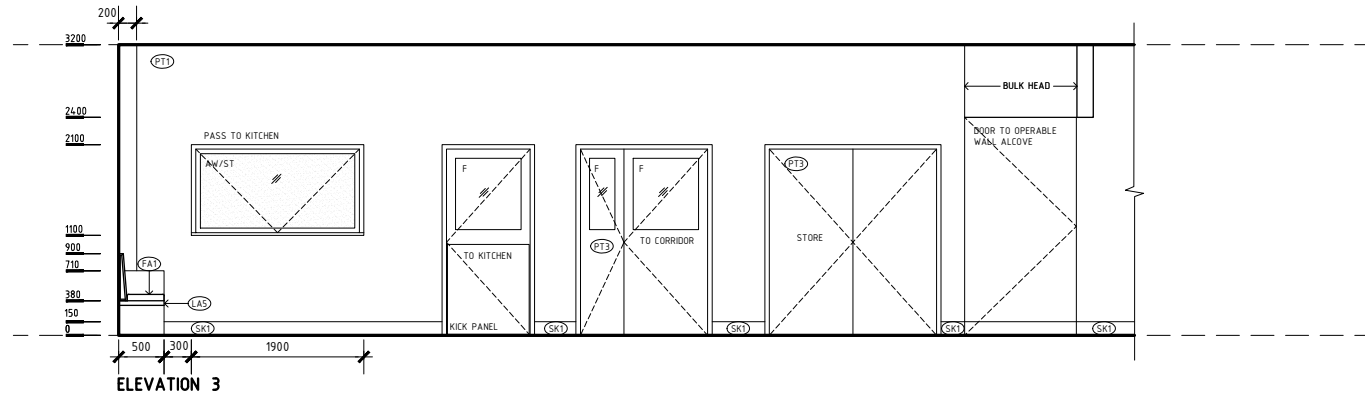
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CHECKED: **HM / SH**

DATE: **AUG 2022**


SHEET No: **5 OF 29**

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FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR805** REVISION: **00**

DRAWING TITLE:
ROOM LAYOUT SHEET MULTIPURPOSE 2

JOB No: **21047**

DRAWN BY: **MB**

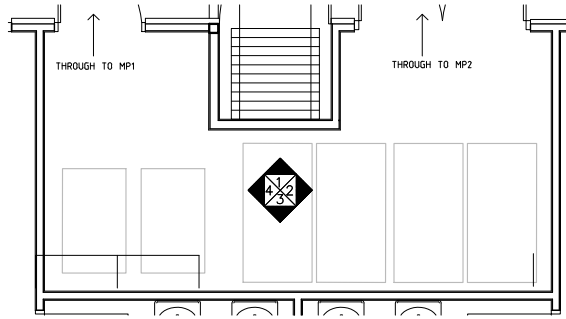
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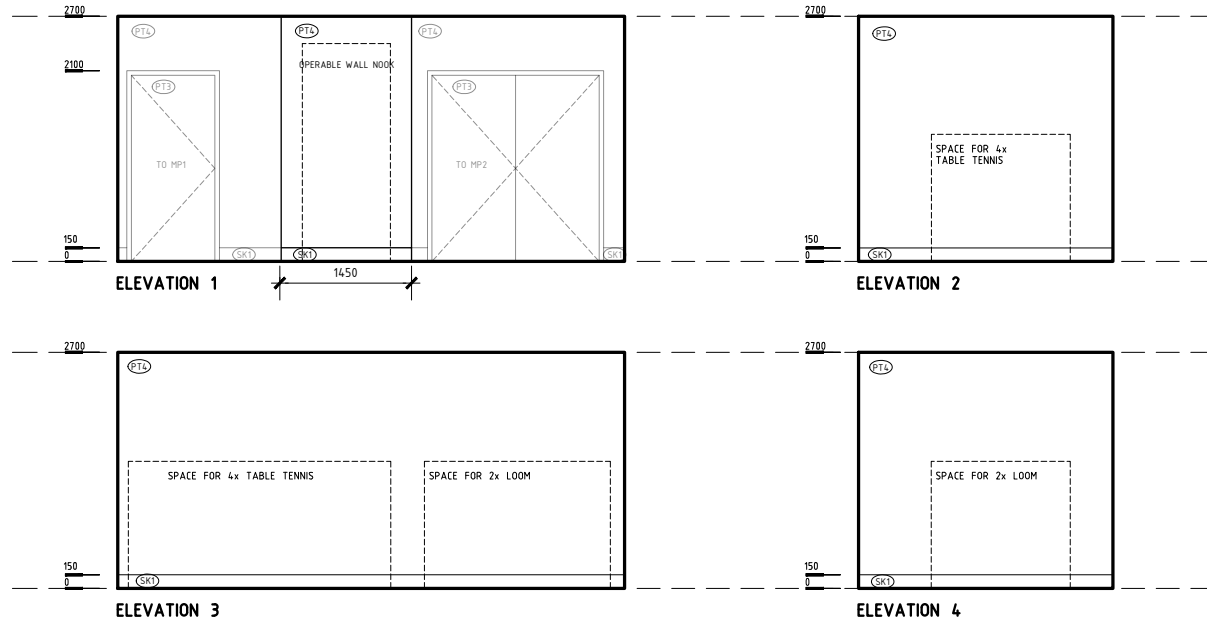
CHECKED: **HM / SH**

SHEET No: **6 OF 29**

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


FLOOR PLAN
MULTIPURPOSE 1 & 2 STORE



FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR806** REVISION: **00**

DRAWING TITLE:
ROOM LAYOUT SHEET MULTI 1 & 2 STORE

JOB No: **21047**

SCALE: **1:50 @ A3**

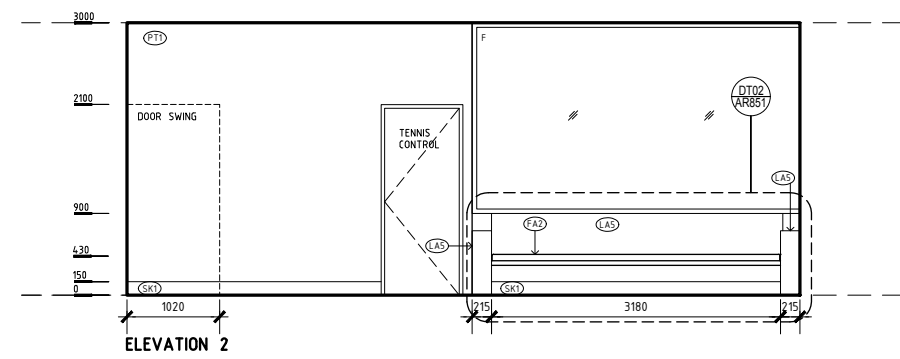
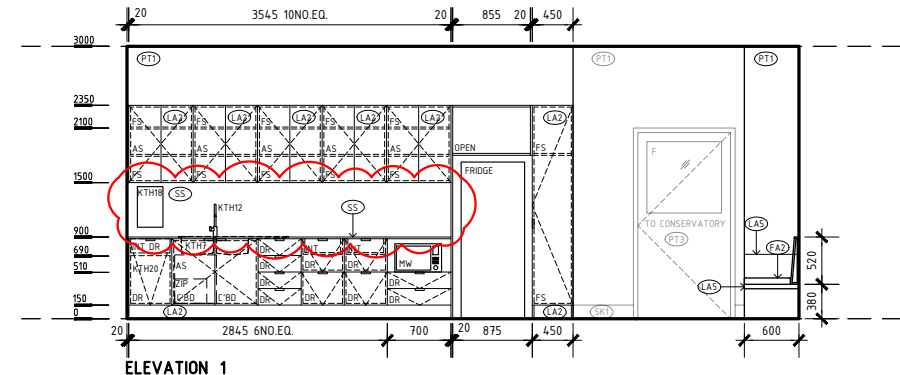
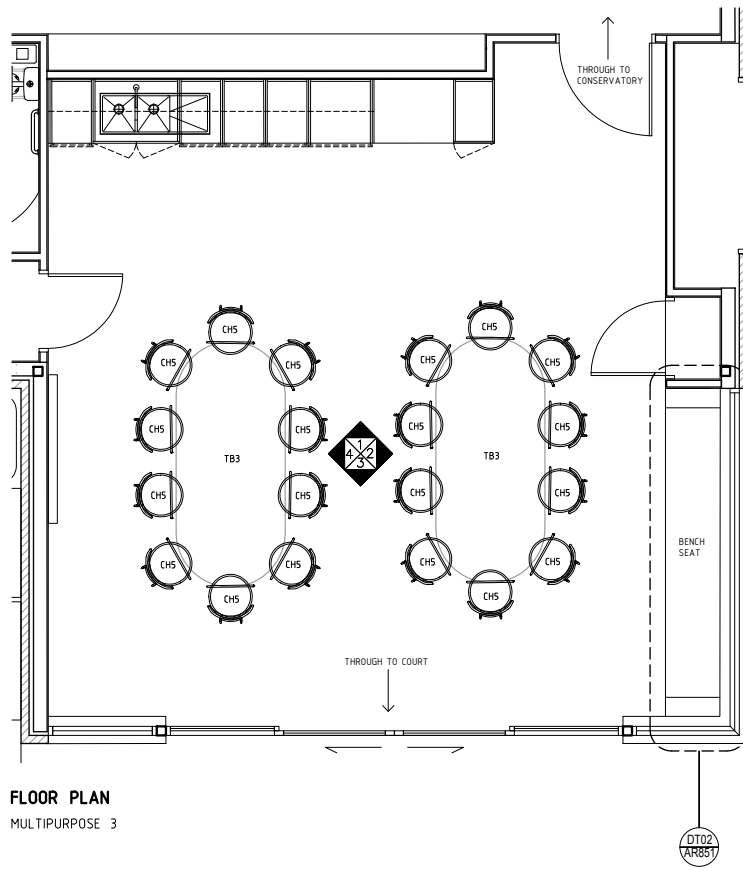
DRAWN BY: **MB**

CHECKED: **HM / SH**

DATE: **JUN 2022**


SHEET No: **7 OF 29**

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FOR TENDER

DATE:	REVISION:	BY:
12/08/22	00: FOR TENDER	MB
22/08/22	01: FOR TENDER	RF

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: AR807
REVISION: 01

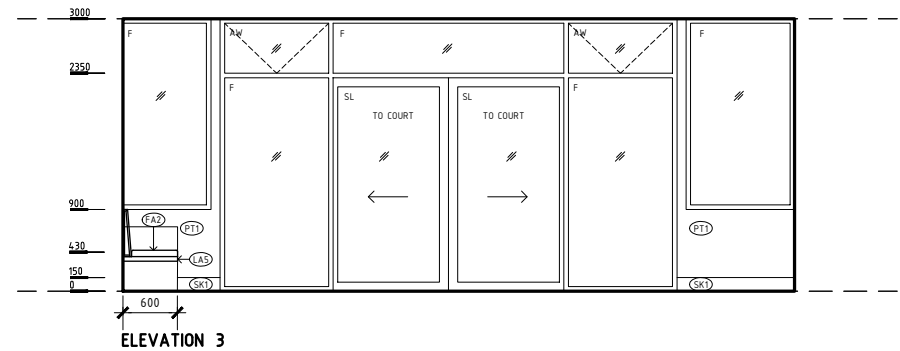
DRAWING TITLE:
ROOM LAYOUT SHEET MULTIPURPOSE 3

JOB No: 21047
DRAWN BY: MB
DATE: AUG 2022

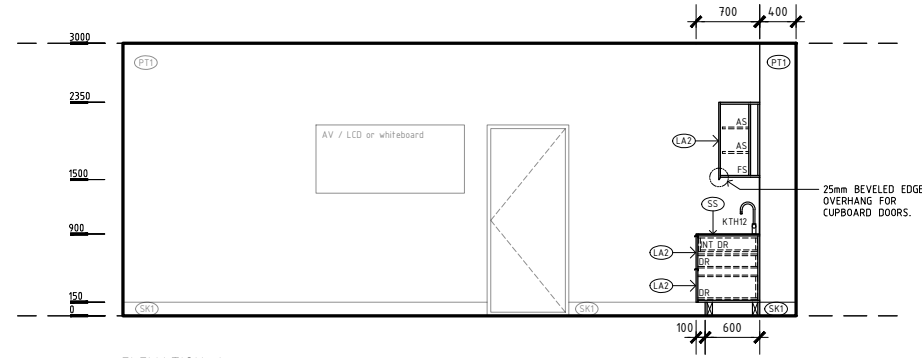
SCALE: 1:50 @ A3
CHECKED: HM / SH
SHEET No: 8 OF 29

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
ELEVATION 3



ELEVATION 4

FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR808** REVISION: **00**

DRAWING TITLE:
ROOM LAYOUT SHEET MULTIPURPOSE 3

JOB No: **21047**

SCALE: **1:50 @ A3**

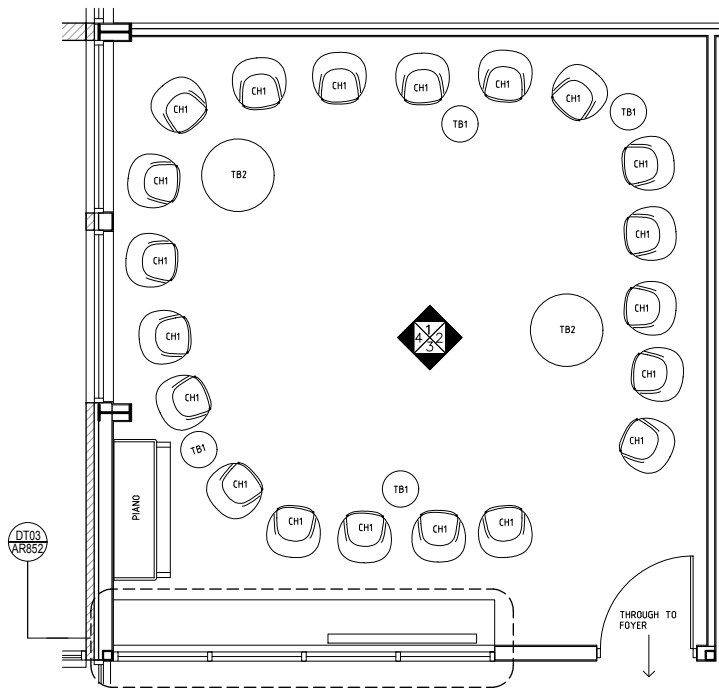
DRAWN BY: **MB**

CHECKED: **HM / SH**

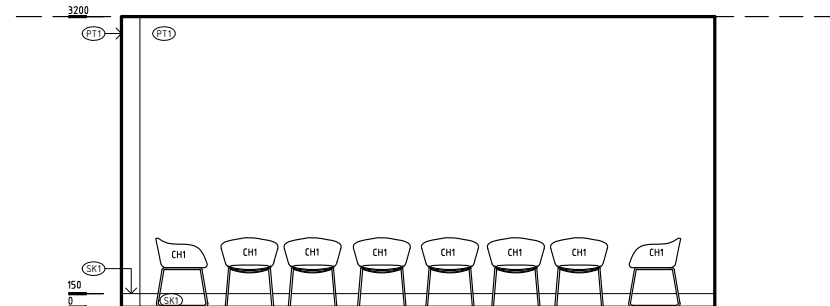
DATE: **JUN 2022**

SHEET No: **9 OF 29**

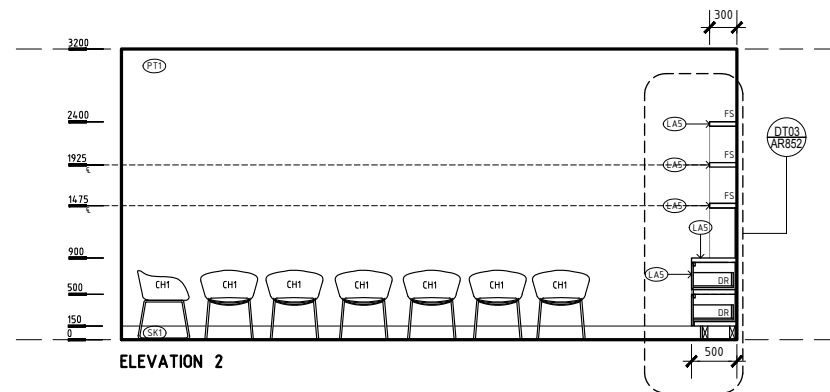
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FLOOR PLAN
LOUNGE



ELEVATION 1



ELEVATION 2

FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR809** REVISION: **00**

DRAWING TITLE:
ROOM LAYOUT SHEET LOUNGE

JOB No: **21047**

DRAWN BY: **MB**

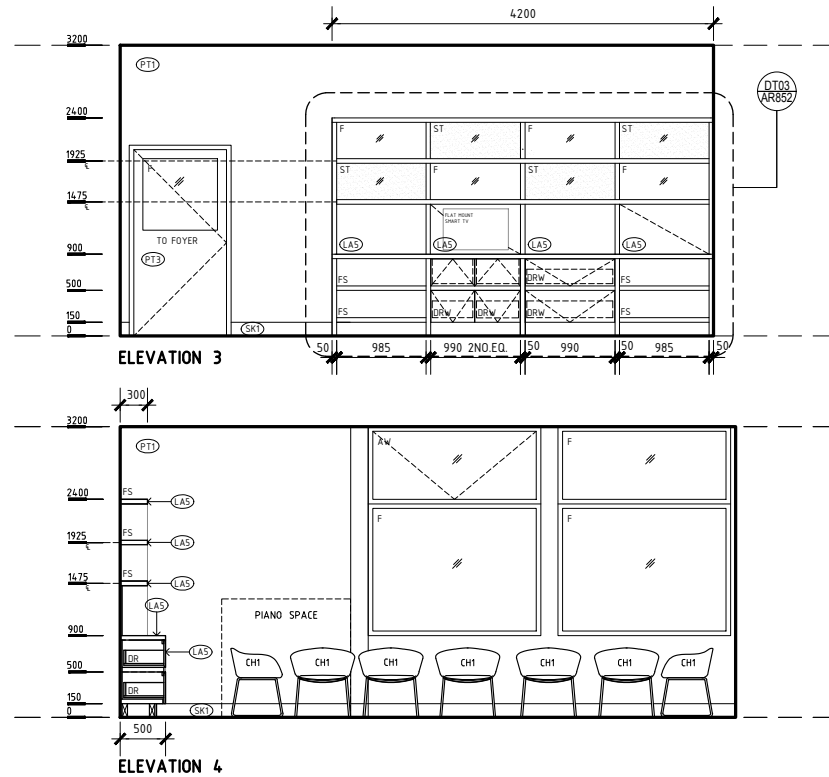
DATE: **JUN 2022**

SCALE: **1:50 @ A3**

CHECKED: **HM / SH**

SHEET No: **10 OF 29**

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FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR810** REVISION: **00**

DRAWING TITLE:
ROOM LAYOUT SHEET LOUNGE

JOB No: **21047**

SCALE: **1:50 @ A3**

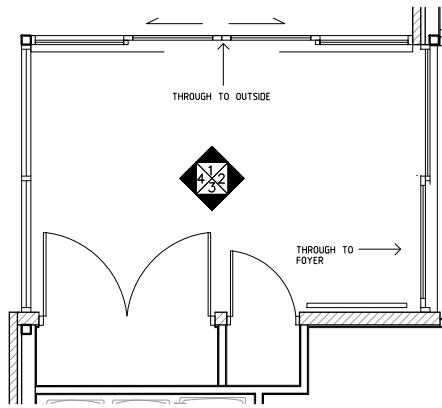
DRAWN BY: **MB**

CHECKED: **HM / SH**

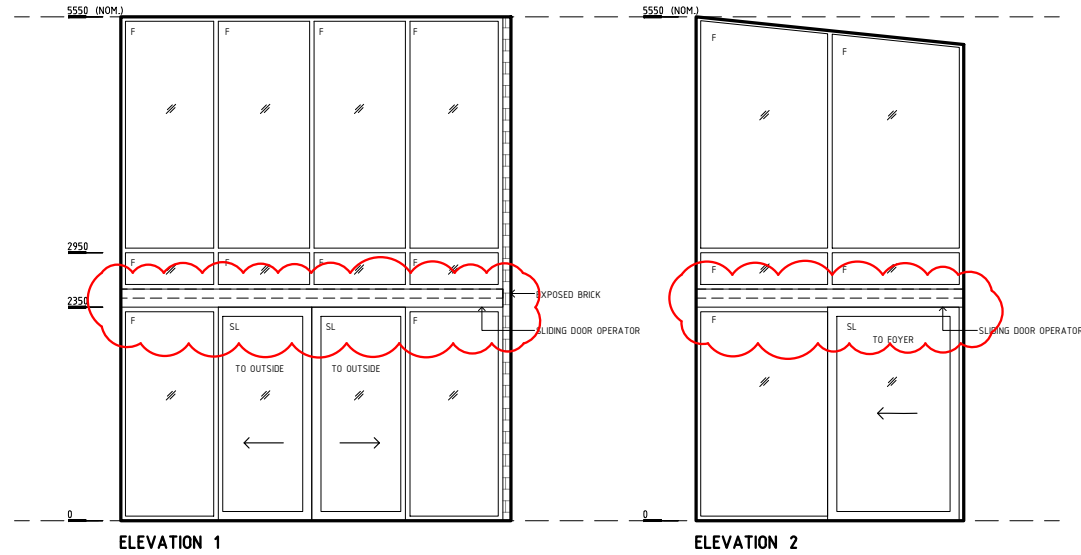
DATE: **JUN 2022**

SHEET No: **11 OF 29**

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FLOOR PLAN
ENTRANCE / SERVICES



ELEVATION 1

ELEVATION 2

FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB
22/08/22	01: FOR TENDER	RF



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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR811** REVISION: **00**

DRAWING TITLE:
ROOM LAYOUT SHEET ENTRANCE / SERVICES

JOB No: **21047**

DRAWN BY: **MB**

DATE: **JUN 2022**

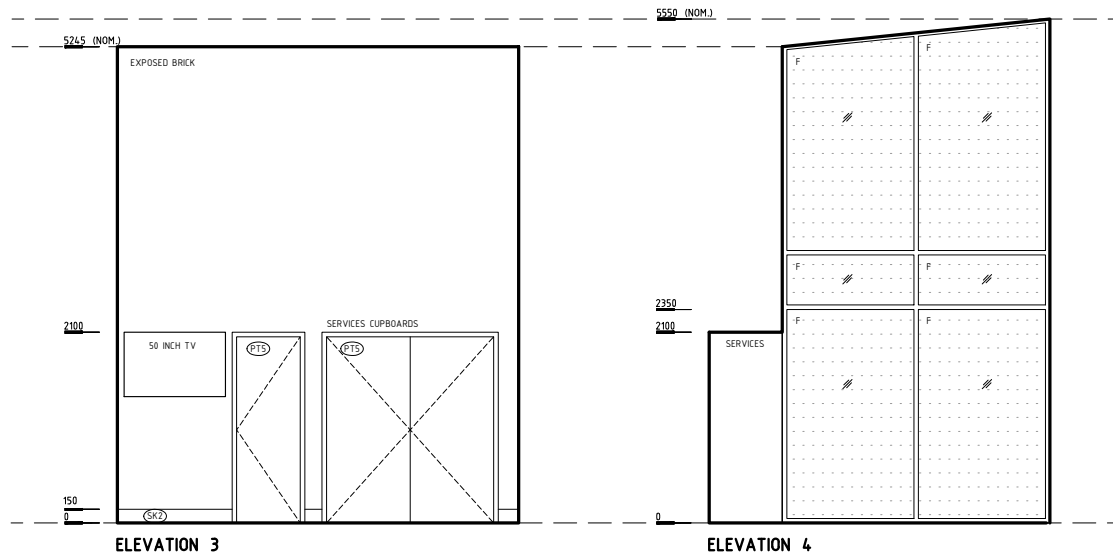
SCALE: **1:50 @ A3**

CHECKED: **HM / SH**

SHEET No: **12 OF 29**




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Unit 2, 586 Whitehorse Rd
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FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR812** REVISION: **00**

DRAWING TITLE:
ROOM LAYOUT SHEET ENTRANCE / SERVICES

JOB No:
21047

DRAWN BY:
MB

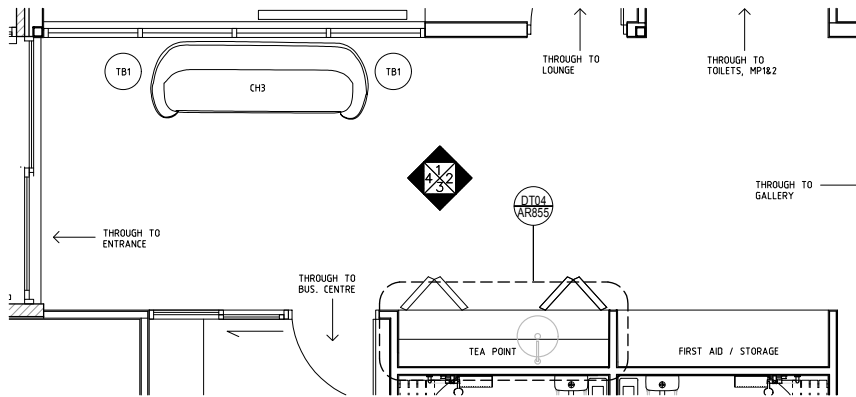
DATE:
JUN 2022

SCALE:
1:50 @ A3

CHECKED:
HM / SH

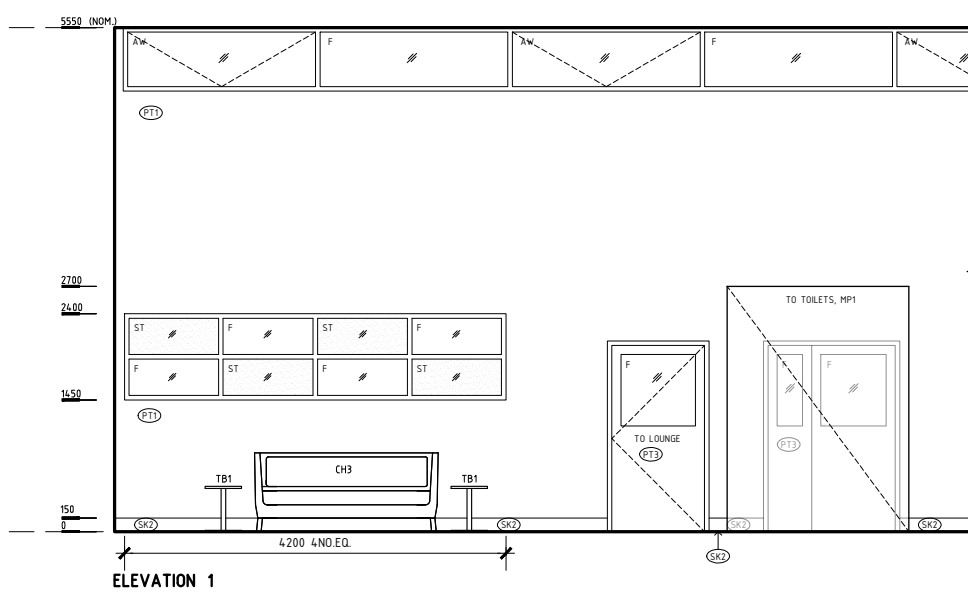
SHEET No:
13 OF 29

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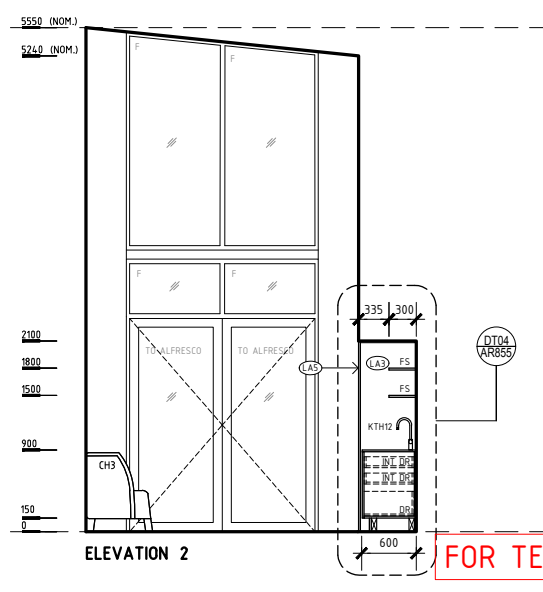


NOTE: CONTRACTOR TO INSTALL WALL DISPLAYS TO GALLERY WALLS INCLUDING THE HONOUR BOARDS, PAINTINGS, THE 'WILLIAMSTOWN CENTRAL' HERITAGE SIGNAGE AND THE LIKE FROM THE EXISTING BUILDING. CONTRACTOR TO CONFIRM WITH CLIENT LOCATION FOR INSTALLATION.

FLOOR PLAN
FOYER / TEA POINT




ELEVATION 1



ELEVATION 2

FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB
22/08/22	01: FOR TENDER	RF

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR813** REVISION: **01**

DRAWING TITLE:
ROOM LAYOUT SHEET Foyer / TEA POINT

JOB No: **21047**

DRAWN BY: **MB**

DATE: **JUN 2022**

SCALE: **1:50 @ A3**

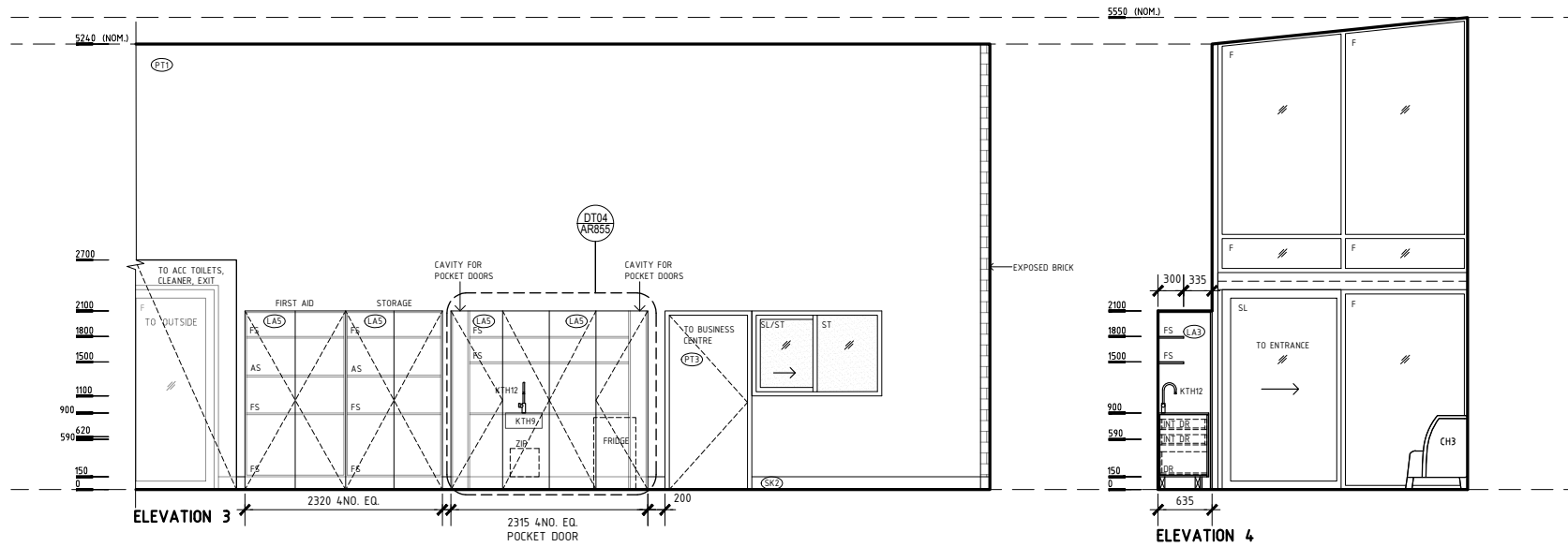
CHECKED: **HM / SH**

SHEET No: **14 OF 29**

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NOTE: CONTRACTOR TO INSTALL WALL DISPLAYS TO GALLERY WALLS INCLUDING THE HONOUR BOARDS, PAINTINGS, THE 'WILLIAMSTOWN CENTRAL' HERITAGE SIGNAGE AND THE LIKE FROM THE EXISTING BUILDING. CONTRACTOR TO CONFIRM WITH CLIENT LOCATION FOR INSTALLATION.



FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB
22/08/22	01: FOR TENDER	RF

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: AR814
REVISION: 01

DRAWING TITLE:
ROOM LAYOUT SHEET
FOYER / TEA POINT

JOB No: 21047

DRAWN BY: MB

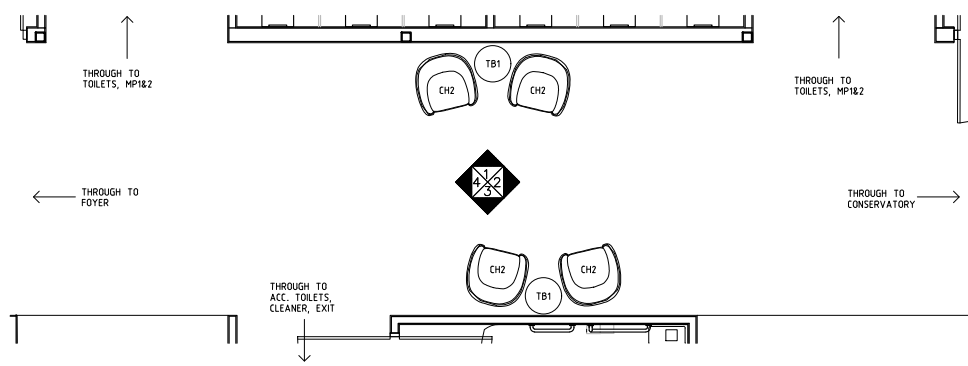
DATE: JUN 2022

SCALE: 1:50 @ A3

CHECKED: HM / SH

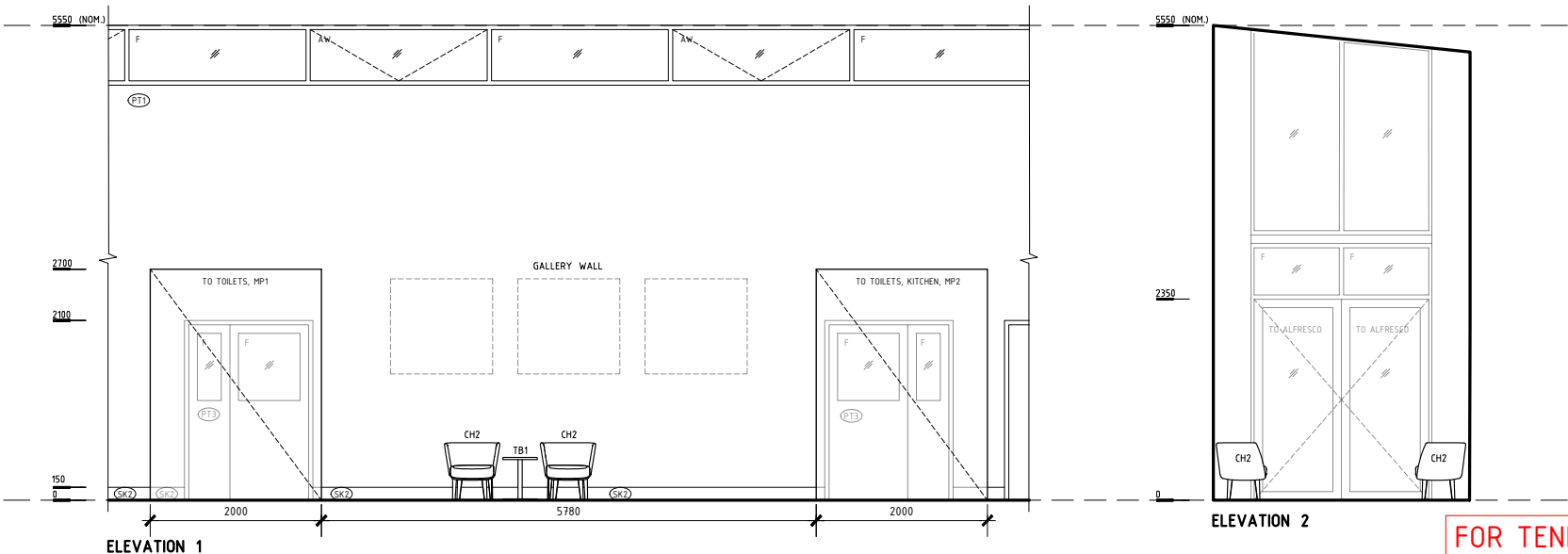
SHEET No: 15 OF 29

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
NOTE: CONTRACTOR TO INSTALL WALL DISPLAYS TO GALLERY WALLS INCLUDING THE HONOUR BOARDS, PAINTINGS, THE 'WILLIAMSTOWN CENTRAL' HERITAGE SIGNAGE AND THE LIKE FROM THE EXISTING BUILDING. CONTRACTOR TO CONFIRM WITH CLIENT LOCATION FOR INSTALLATION.

FLOOR PLAN
GALLERY



FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB
22/08/22	01: FOR TENDER	RF

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR815** REVISION: **01**

DRAWING TITLE:
ROOM LAYOUT SHEET GALLERY

JOB No: **21047**

DRAWN BY: **MB**

DATE: **JUN 2022**

SCALE: **1:50 @ A3**

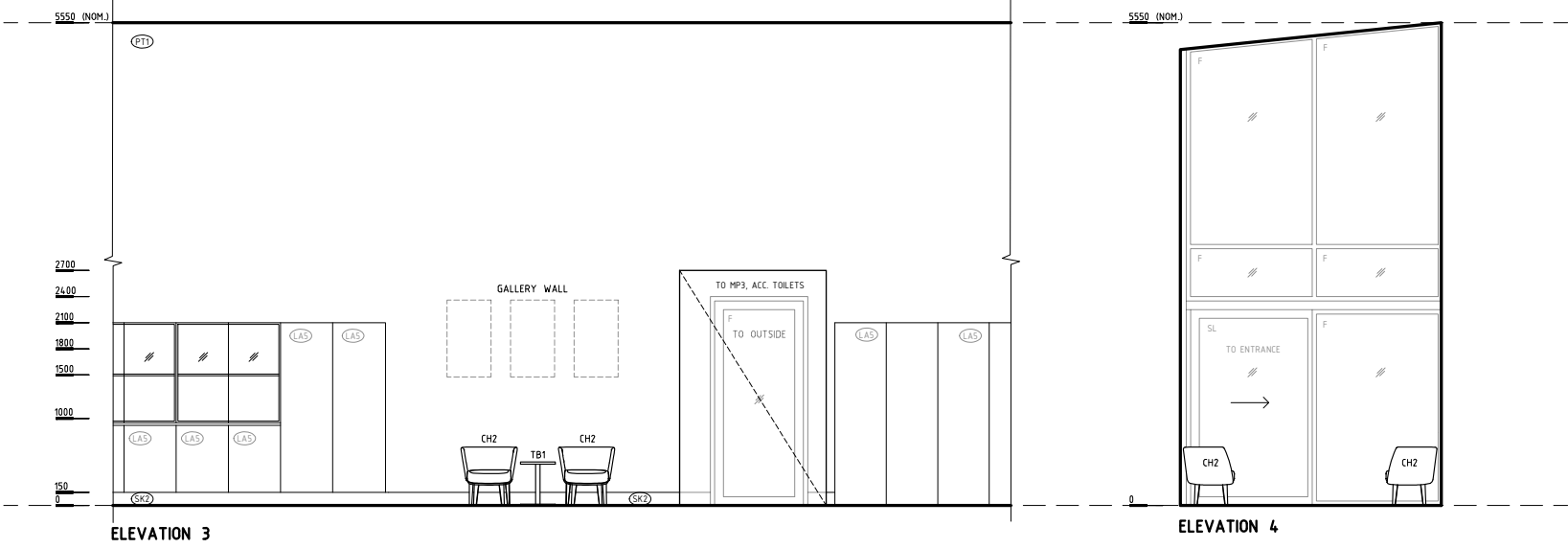
CHECKED: **HM / SH**

SHEET No: **16 OF 29**




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NOTE: CONTRACTOR TO INSTALL WALL DISPLAYS TO GALLERY WALLS INCLUDING THE HONOUR BOARDS, PAINTINGS, THE 'WILLIAMSTOWN CENTRAL' HERITAGE SIGNAGE AND THE LIKE FROM THE EXISTING BUILDING. CONTRACTOR TO CONFIRM WITH CLIENT LOCATION FOR INSTALLATION.



FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB
22/08/22	01: FOR TENDER	RF

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR816** REVISION: **01**

DRAWING TITLE:
ROOM LAYOUT SHEET GALLERY

JOB No: **21047**

SCALE: **1:50 @ A3**

DRAWN BY: **MB**

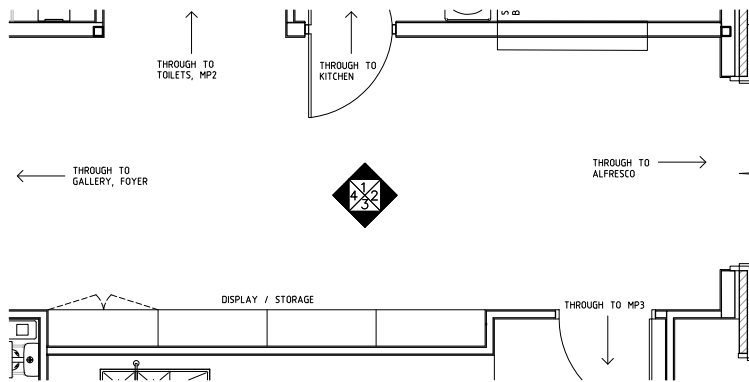
CHECKED: **HM / SH**

DATE: **JUN 2022**

SHEET No: **17 OF 29**

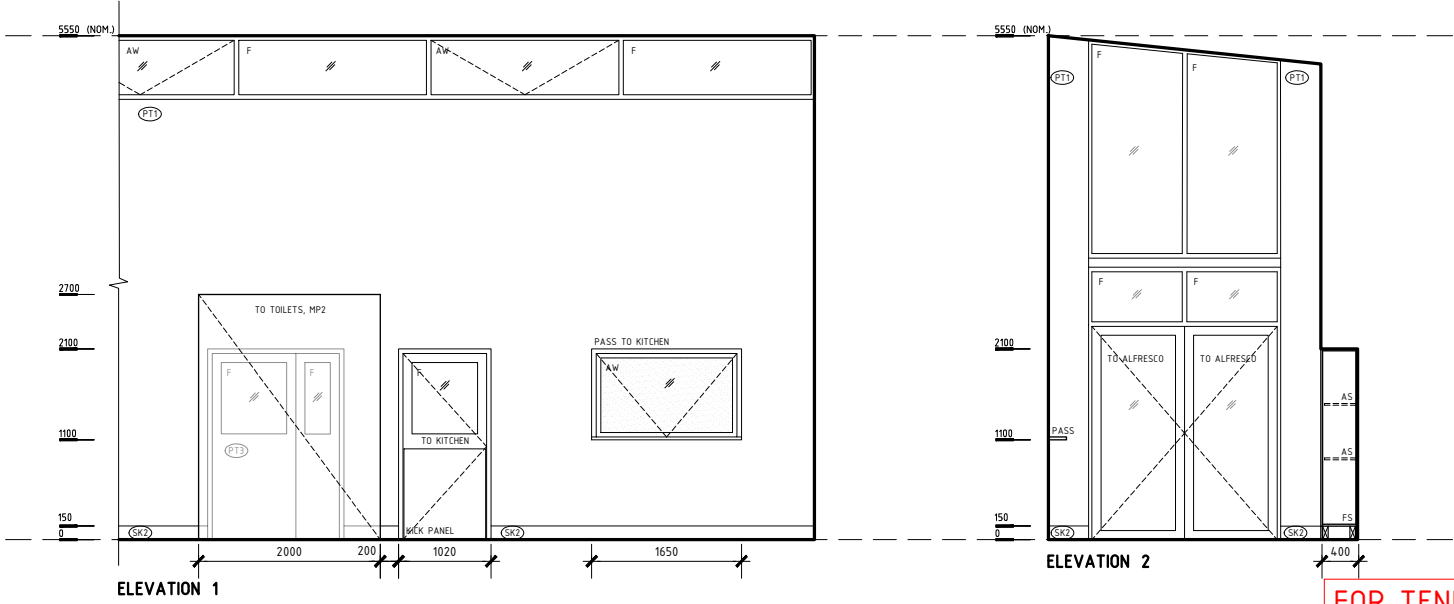


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
NOTE: CONTRACTOR TO INSTALL WALL DISPLAYS TO GALLERY WALLS INCLUDING THE HONOUR BOARDS, PAINTINGS, THE 'WILLIAMSTOWN CENTRAL' HERITAGE SIGNAGE AND THE LIKE FROM THE EXISTING BUILDING. CONTRACTOR TO CONFIRM WITH CLIENT LOCATION FOR INSTALLATION.

FLOOR PLAN
CONSERVATORY



FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB
22/08/22	01: FOR TENDER	RF

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR817** REVISION: **01**

DRAWING TITLE:
ROOM LAYOUT SHEET CONSERVATORY

JOB No: **21047**

SCALE: **1:50 @ A3**

DRAWN BY: **MB**

CHECKED: **HM / SH**

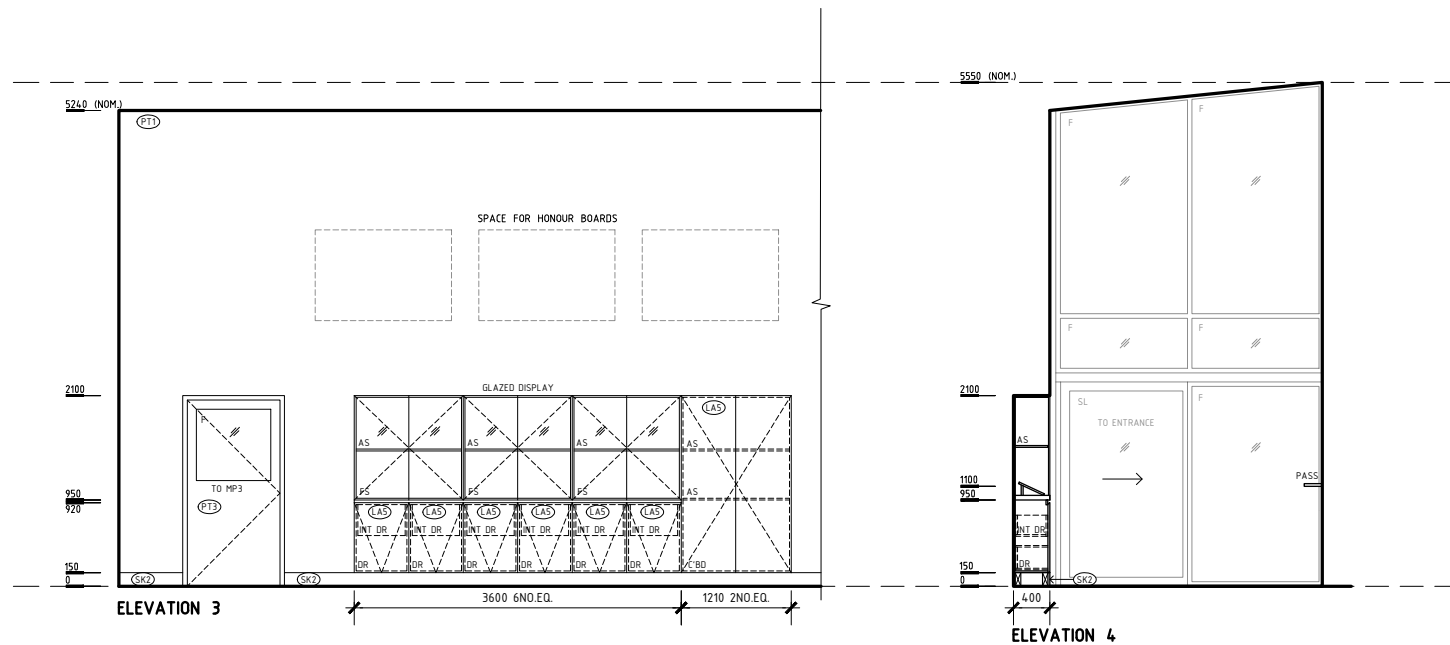
DATE: **JUN 2022**

SHEET No: **18 OF 29**

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
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N2SH Pty. Ltd. ABN: 20 606 602 196

NOTE: CONTRACTOR TO INSTALL WALL DISPLAYS TO GALLERY WALLS INCLUDING THE HONOUR BOARDS, PAINTINGS, THE 'WILLIAMSTOWN CENTRAL' HERITAGE SIGNAGE AND THE LIKE FROM THE EXISTING BUILDING. CONTRACTOR TO CONFIRM WITH CLIENT LOCATION FOR INSTALLATION.



FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB
22/08/22	01: FOR TENDER	RF

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR818** REVISION: **01**

DRAWING TITLE:
ROOM LAYOUT SHEET CONSERVATORY

JOB No: **21047**

SCALE: **1:50 @ A3**

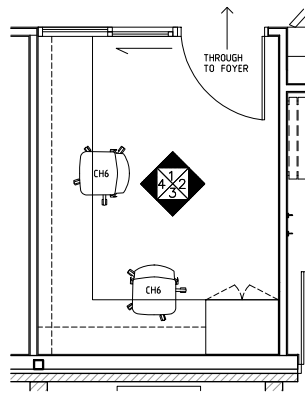
DRAWN BY: **MB**

CHECKED: **HM / SH**

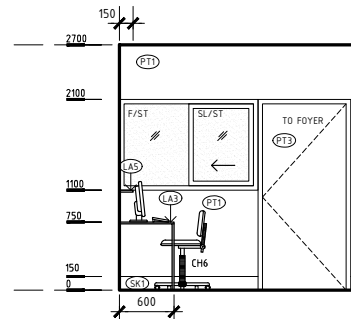
DATE: **JUN 2022**

SHEET No: **19 OF 29**

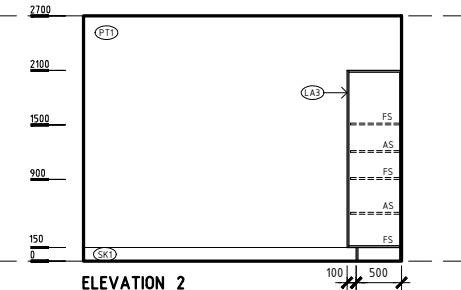
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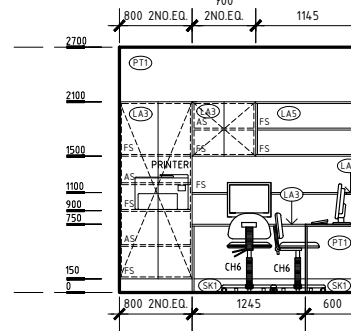
FLOOR PLAN
BUSINESS CENTRE



ELEVATION 1

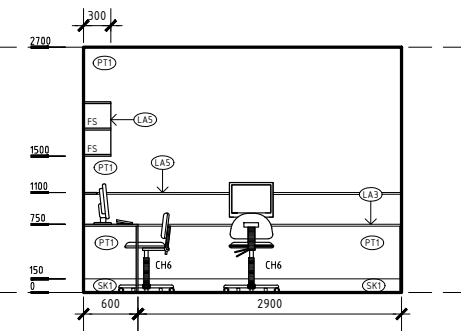


ELEVATION 2



ELEVATION 3


NOTE: ALL JOINERY
TO BE LOCKABLE.



ELEVATION 4

FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY
CITY COUNCIL

PROJECT:
DENNIS RESERVE
MULTIPURPOSE FACILITY

DRAWING No: AR819
REVISION: 00

DRAWING TITLE:
ROOM LAYOUT SHEET
BUSINESS CENTRE

JOB No:
21047

DRAWN BY:
MB

DATE:
JUN 2022

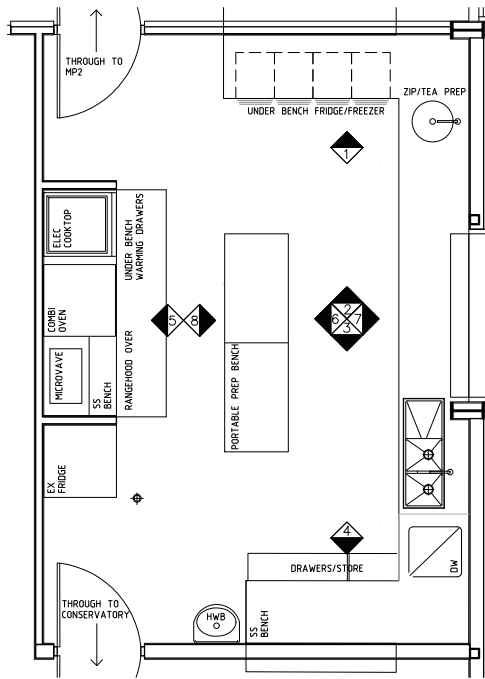
SCALE:
1:50 @ A3

CHECKED:
HM / SH

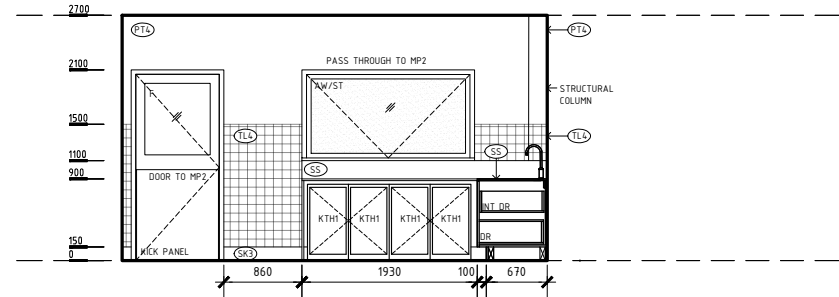
SHEET No:
20 OF 29

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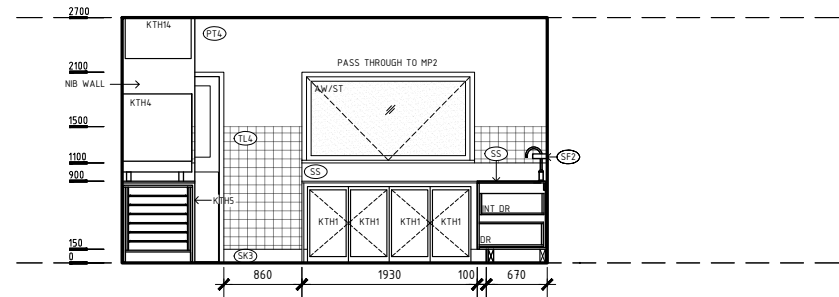
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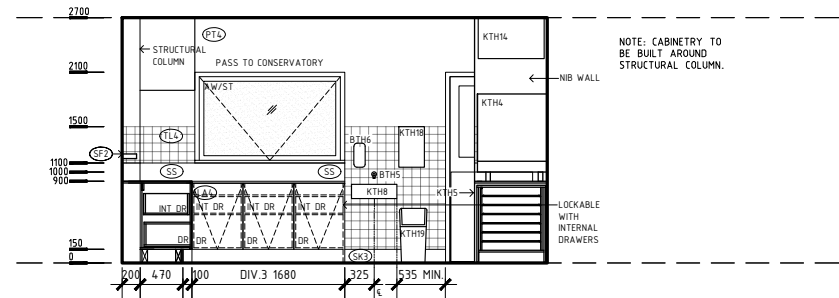
FLOOR PLAN
KITCHEN



ELEVATION 1



ELEVATION 2



ELEVATION 3

FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR820** REVISION: **00**

DRAWING TITLE:
ROOM LAYOUT SHEET KITCHEN

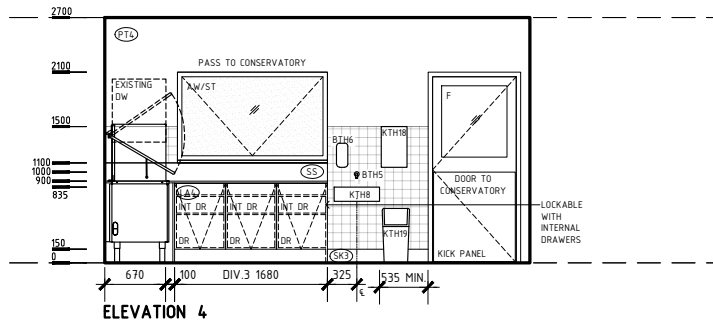
JOB No: **21047** SCALE: **1:50 @ A3**

DRAWN BY: **MB** CHECKED: **HM / SH**

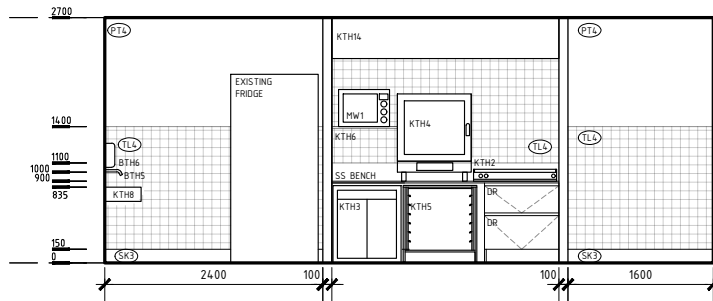
DATE: **JUN 2022** SHEET No: **21 OF 29**

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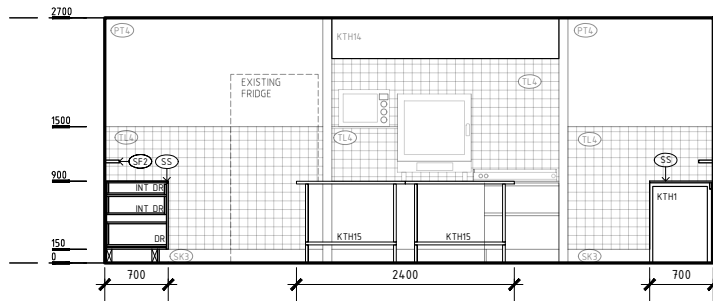
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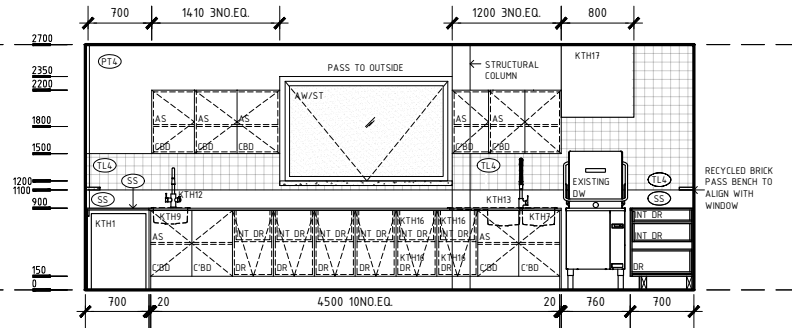
ELEVATION 4



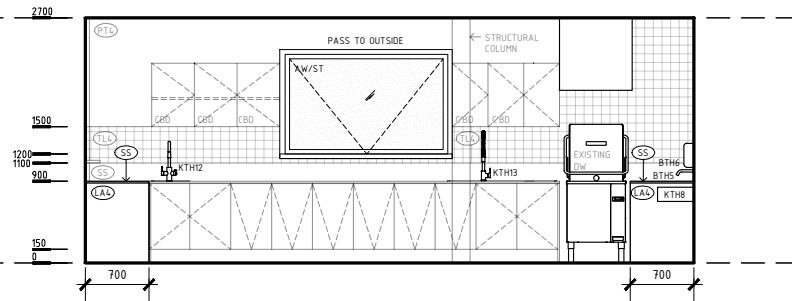
ELEVATION 5



ELEVATION 6



ELEVATION 7



ELEVATION 8

FOR TENDER

DATE:	REVISION:	BY:
12/08/22	00: FOR TENDER	MB

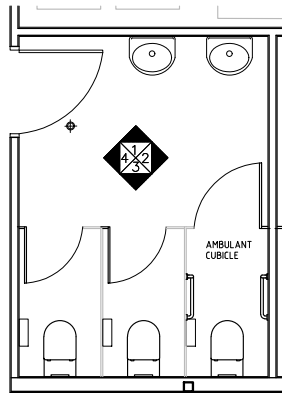
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CLIENT: HOBSONS BAY CITY COUNCIL
 PROJECT: DENNIS RESERVE MULTIPURPOSE FACILITY

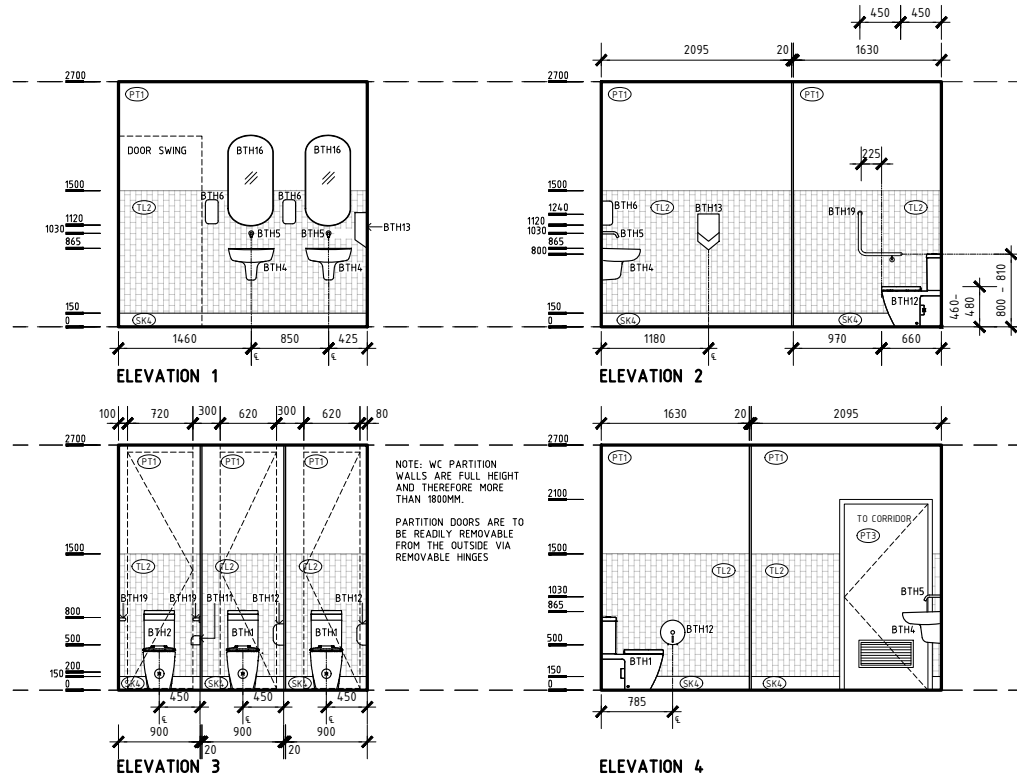
DRAWING No: AR821
 REVISION: 01
 DRAWING TITLE: ROOM LAYOUT SHEET KITCHEN

JOB No: 21047
 SCALE: 1:50 @ A3
 DRAWN BY: MB
 CHECKED: HM / SH
 DATE: AUG 2022
 SHEET No: 22 OF 29

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


FLOOR PLAN
TYPICAL TOILETS



FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB
06/07/22	01: REVISED DIMENSIONS AND ADDITION OF NOTES	SH

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR822** REVISION: **01**

DRAWING TITLE:
ROOM LAYOUT SHEET TYPICAL TOILETS

JOB No:
21047

DRAWN BY:
MB/SH

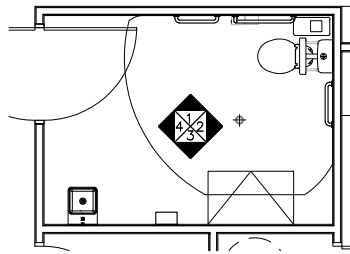
DATE:
JUN 2022

SCALE:
1:50 @ A3

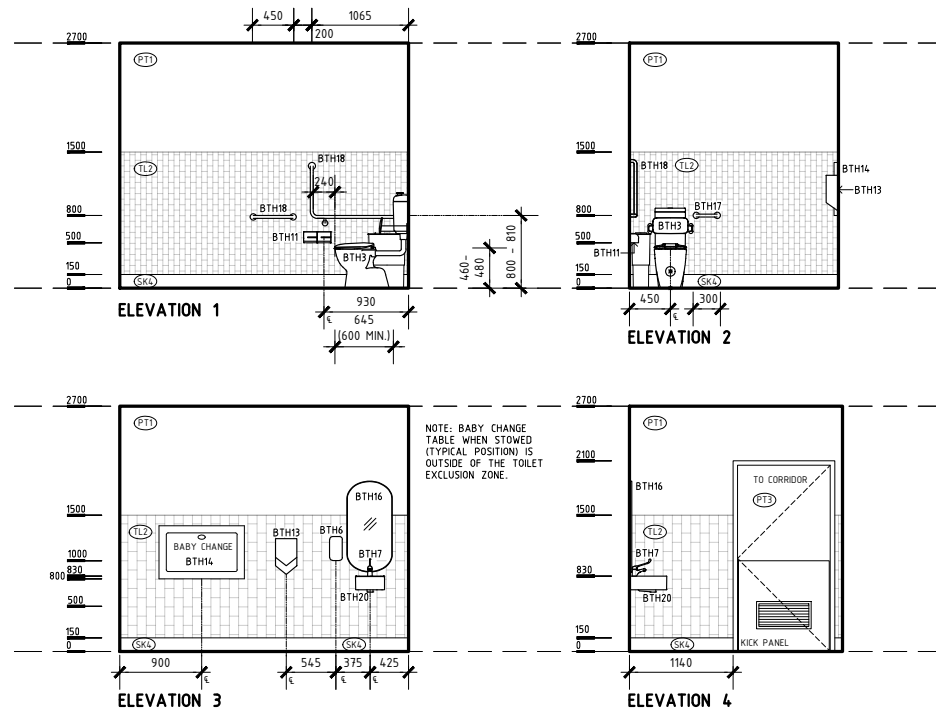
CHECKED:
HM / SH

SHEET No:
23 OF 29

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


FLOOR PLAN
ACCESSIBLE TOILET



FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB
07/07/22	01: ADDITIONAL DIMENSIONS AND NOTES ADDED	SH

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR823** REVISION: **01**

DRAWING TITLE:
ROOM LAYOUT SHEET ACC. TOILET

JOB No: **21047**

DRAWN BY: **MB/SH**

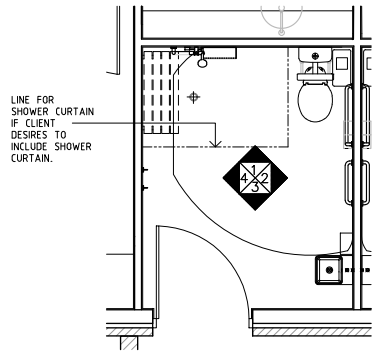
DATE: **JUN 2022**

SCALE: **1:50 @ A3**

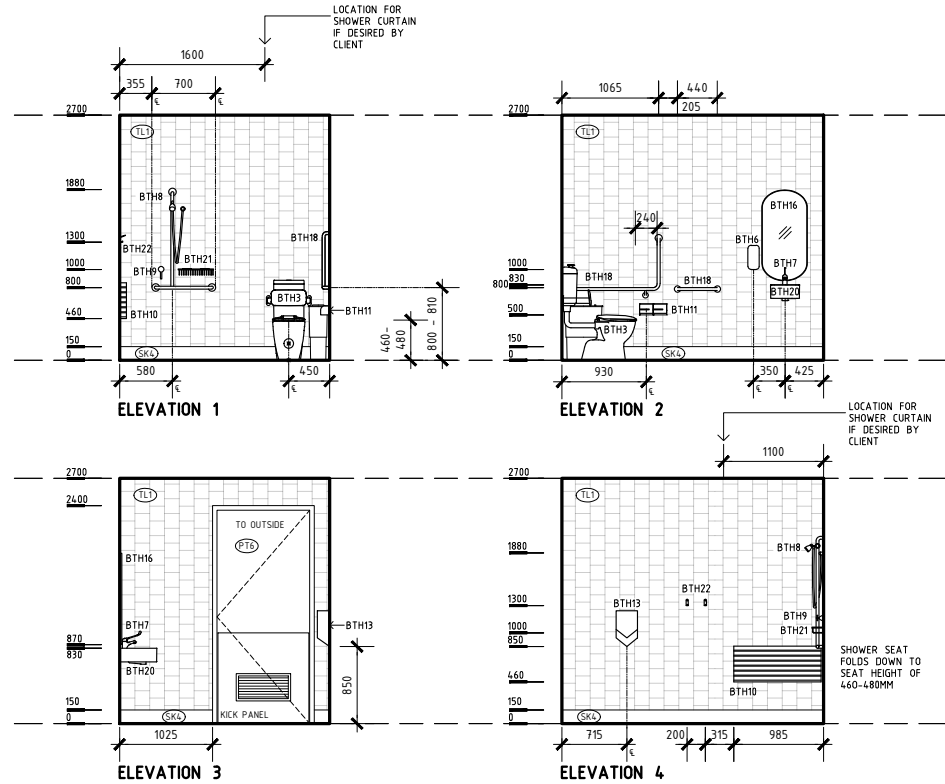
CHECKED: **HM / SH**

SHEET No: **24 OF 29**

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


FLOOR PLAN
TYPICAL ACCESSIBLE CHANGE



FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB
06/07/22	01: ADDITIONAL DIMENSIONS AND NOTES	SH

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR824** REVISION: **01**

DRAWING TITLE:
ROOM LAYOUT SHEET ACC. CHANGE

JOB No: **21047**

DRAWN BY: **MB**

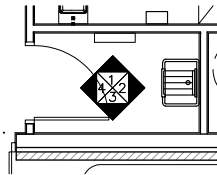
DATE: **JUN 2022**

SCALE: **1:50 @ A3**

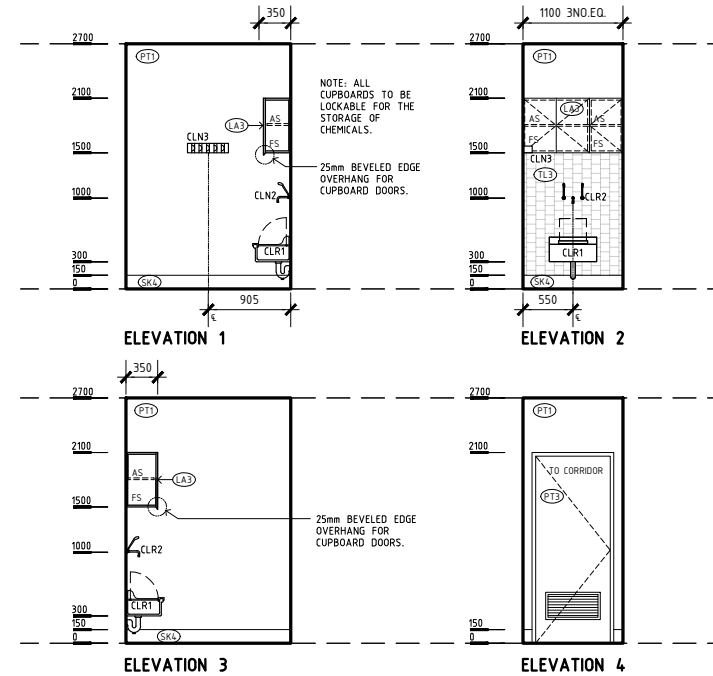
CHECKED: **HM / SH**

SHEET No: **25 OF 29**

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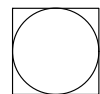


FLOOR PLAN
CLEANER



FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR825** REVISION: **00**

DRAWING TITLE:
ROOM LAYOUT SHEET CLEANER

JOB No: **21047**

SCALE: **1:50 @ A3**

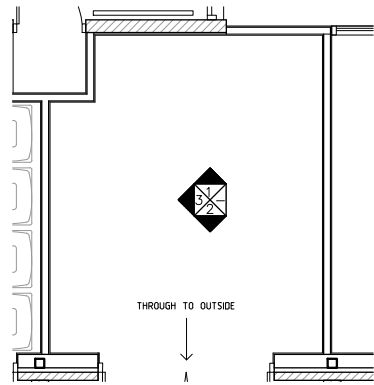
DRAWN BY: **MB**

CHECKED: **HM / SH**

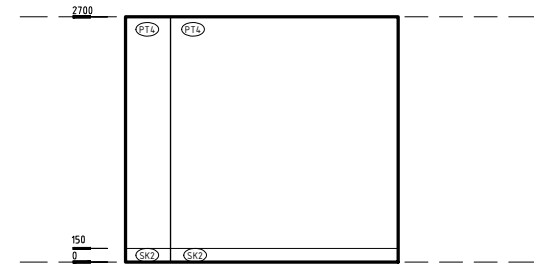
DATE: **JUN 2022**

SHEET No: **26 OF 29**

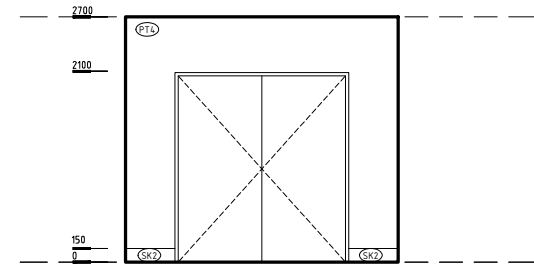
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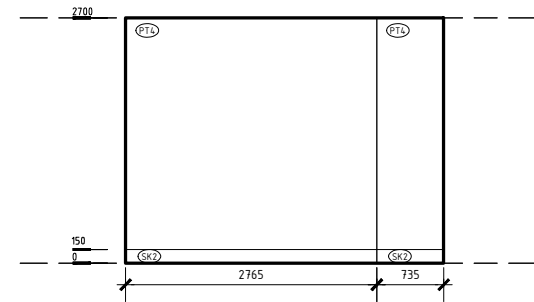
FLOOR PLAN
STORE



ELEVATION 1




ELEVATION 2



ELEVATION 3

FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR826** REVISION: **00**

DRAWING TITLE:
ROOM LAYOUT SHEET STORE

JOB No: **21047**

SCALE: **1:50 @ A3**

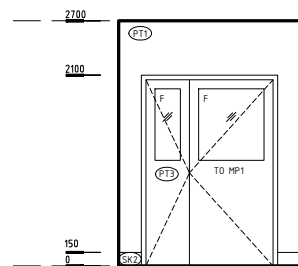
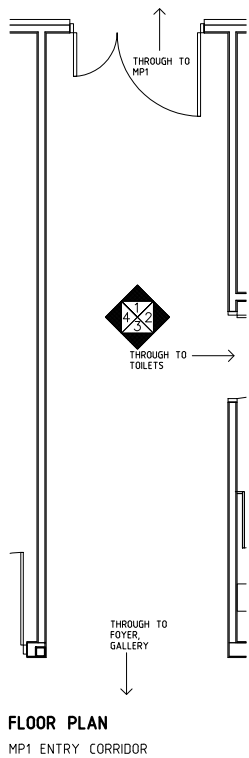
DRAWN BY: **MB**

CHECKED: **HM / SH**

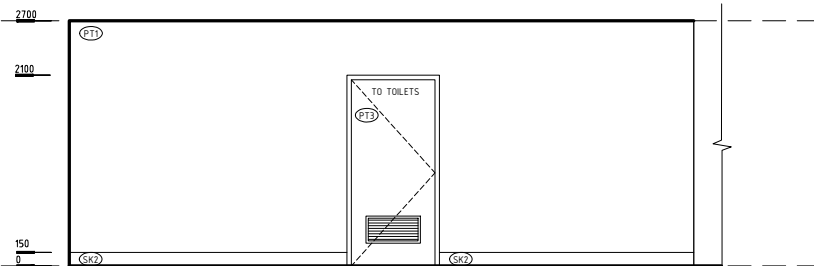
DATE: **JUN 2022**

SHEET No: **27 OF 29**

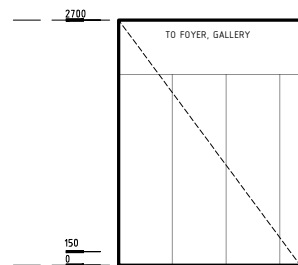
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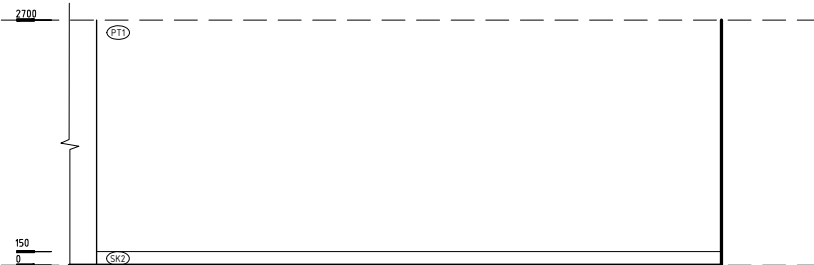
ELEVATION 1



ELEVATION 2




ELEVATION 3



ELEVATION 4

FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR827** REVISION: **00**

DRAWING TITLE:
ROOM LAYOUT SHEET MP1 ENTRY CORRIDOR

JOB No: **21047**

SCALE: **1:50 @ A3**

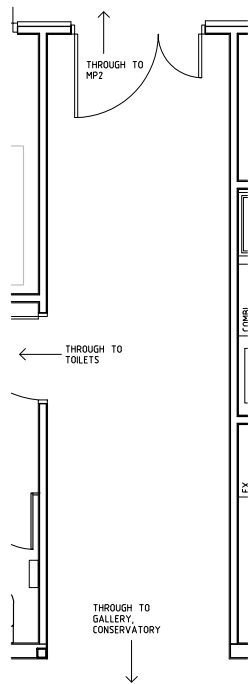
DRAWN BY: **MB**

CHECKED: **HM / SH**

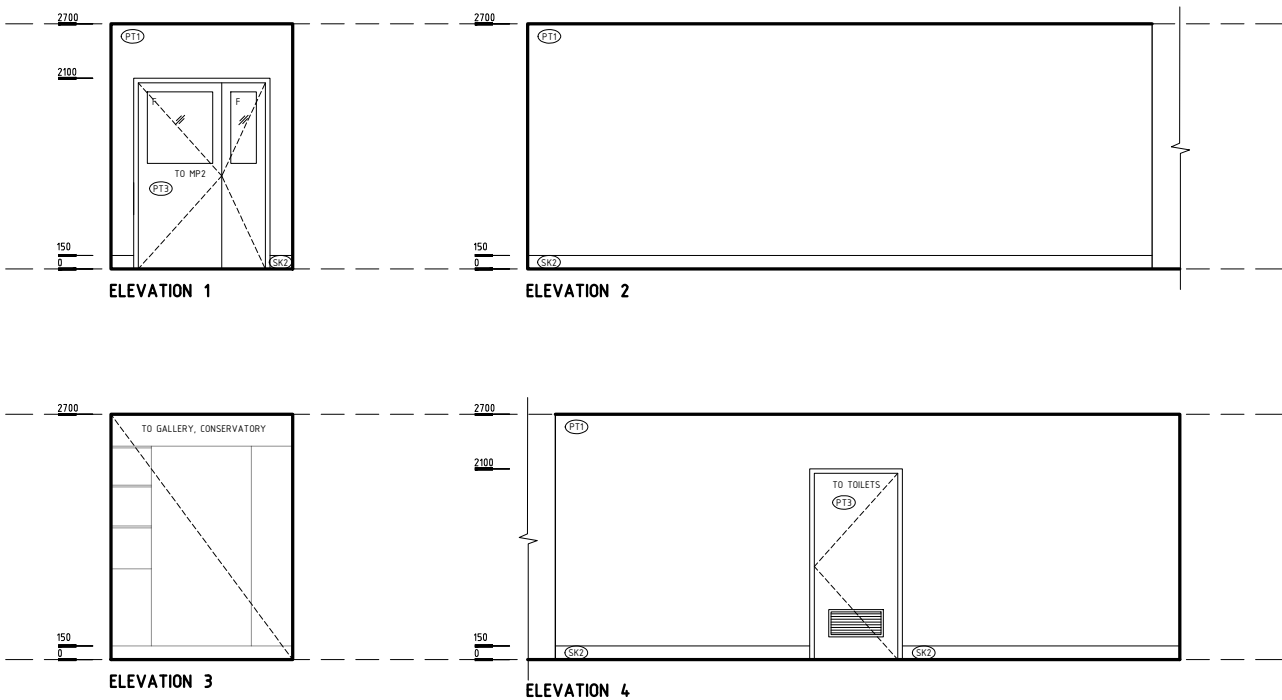
DATE: **JUN 2022**

SHEET No: **28 OF 29**

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


FLOOR PLAN
MP2 ENTRY CORRIDOR



FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR828** REVISION: **00**

DRAWING TITLE:
ROOM LAYOUT SHEET MP2 ENTRY CORRIDOR

JOB No: **21047**

SCALE: **1:50 @ A3**

DRAWN BY: **MB**

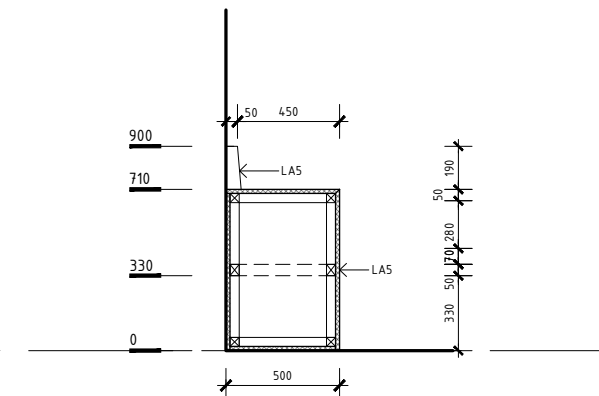
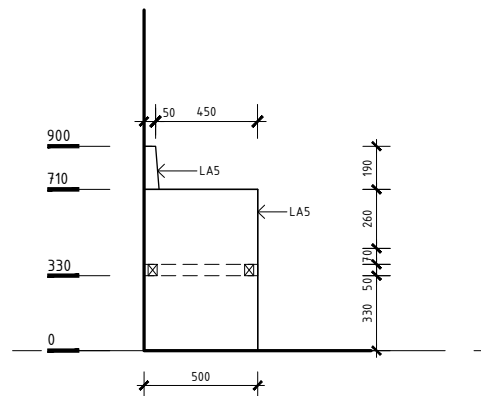
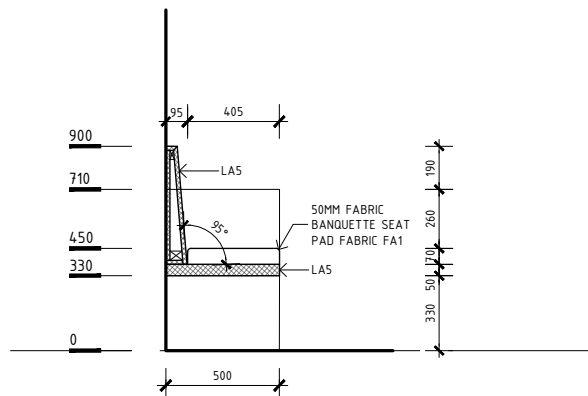
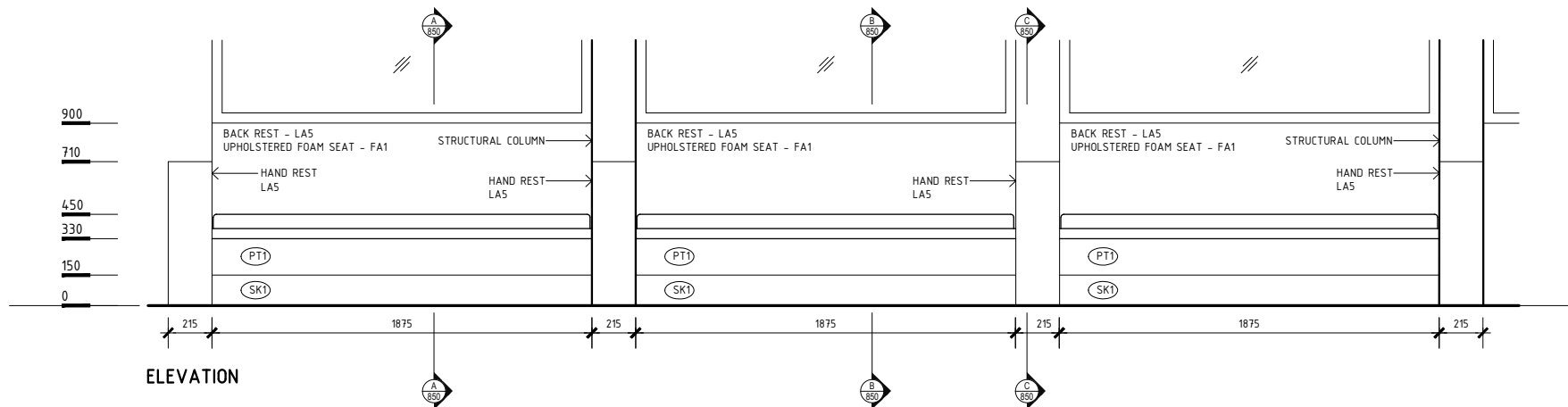
CHECKED: **HM / SH**

DATE: **JUN 2022**

SHEET No: **29 OF 29**



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DT01
AR802

FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR850** REVISION: **00**

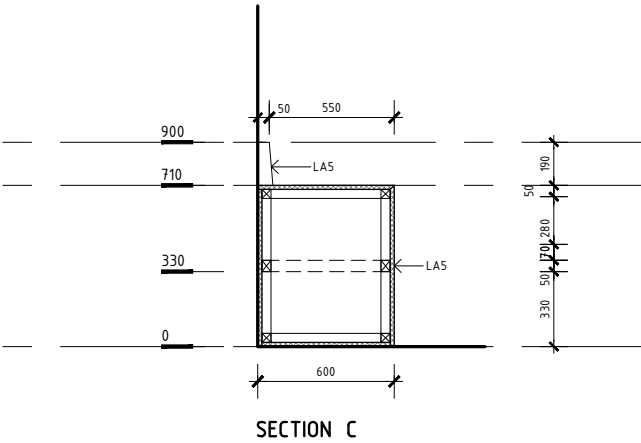
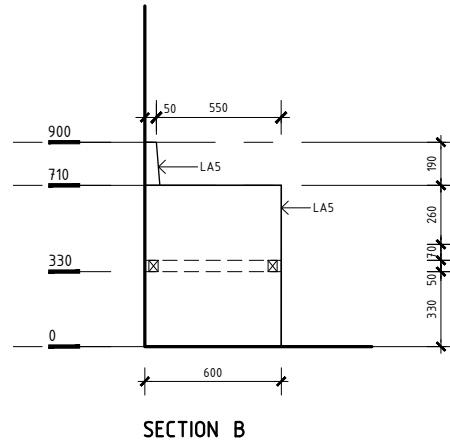
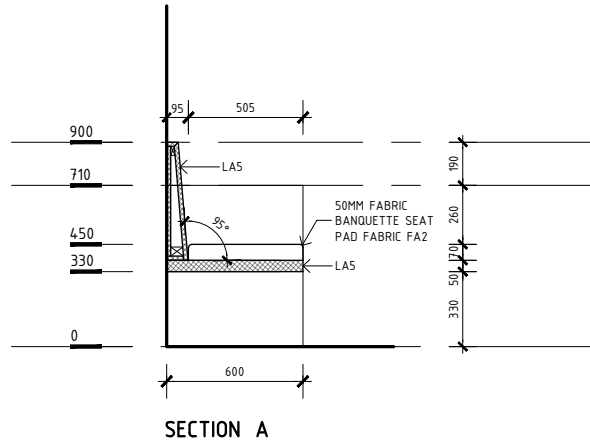
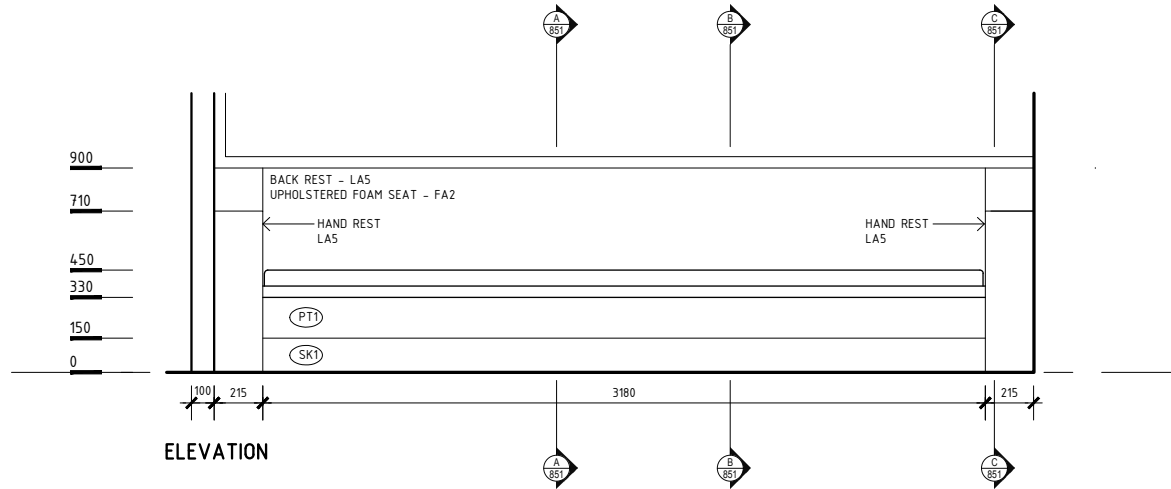
DRAWING TITLE:
JOINERY DETAILS MP1&2 BENCH SEAT

JOB No: **21047** SCALE: **1:20 @ A3**

DRAWN BY: **HM** CHECKED: **-**

DATE: **JUN 2022** SHEET No: **1 OF 6**

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DT02
AR807

FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR851** REVISION: **00**

DRAWING TITLE:
JOINERY DETAILS MP3 BENCH SEAT

JOB No: **21047**

SCALE: **1:20 @ A3**

DRAWN BY: **HM**

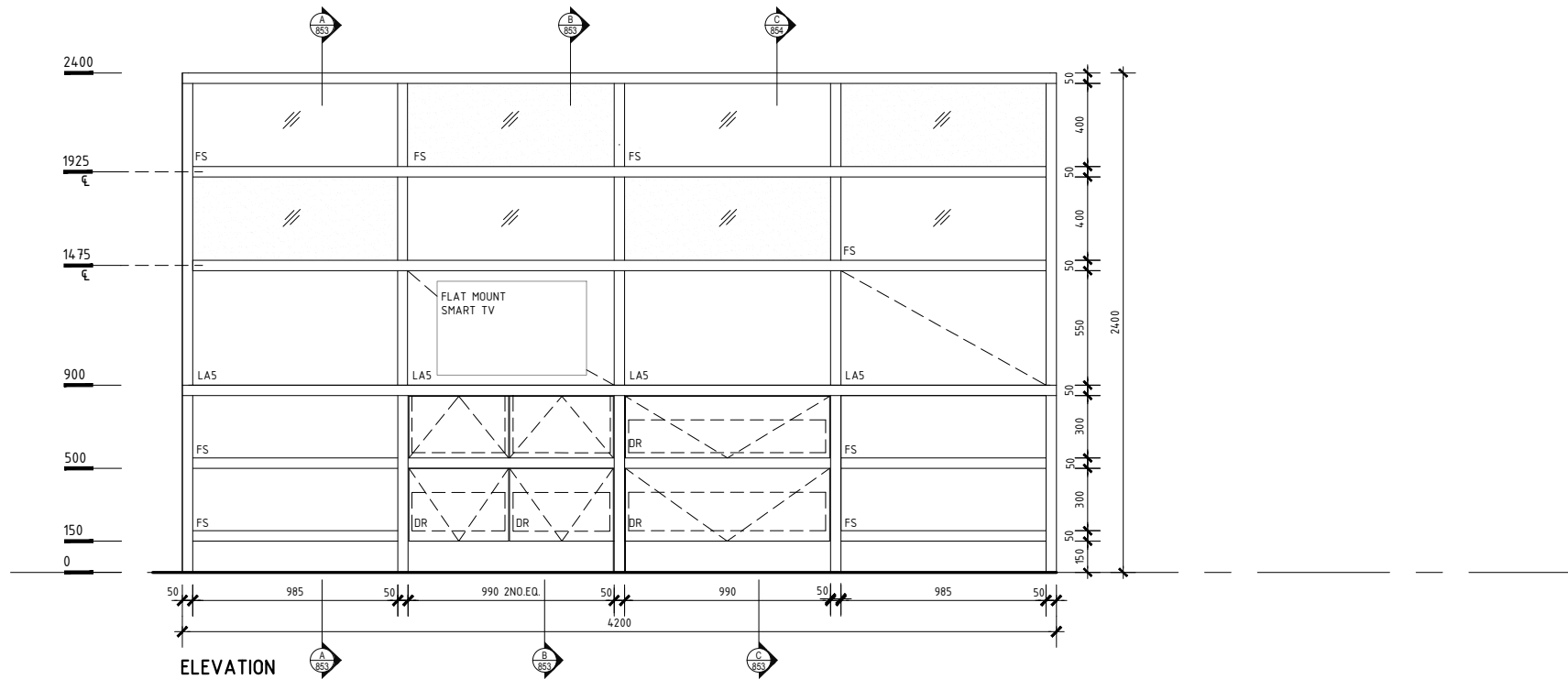
CHECKED: **-**

DATE: **JUN 2022**

SHEET No: **2 OF 6**

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DT03
AR810

FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB



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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR852** REVISION: **00**

DRAWING TITLE:
JOINERY DETAILS LOUNGE

JOB No:
21047

DRAWN BY:
HM

DATE:
JUN 2022

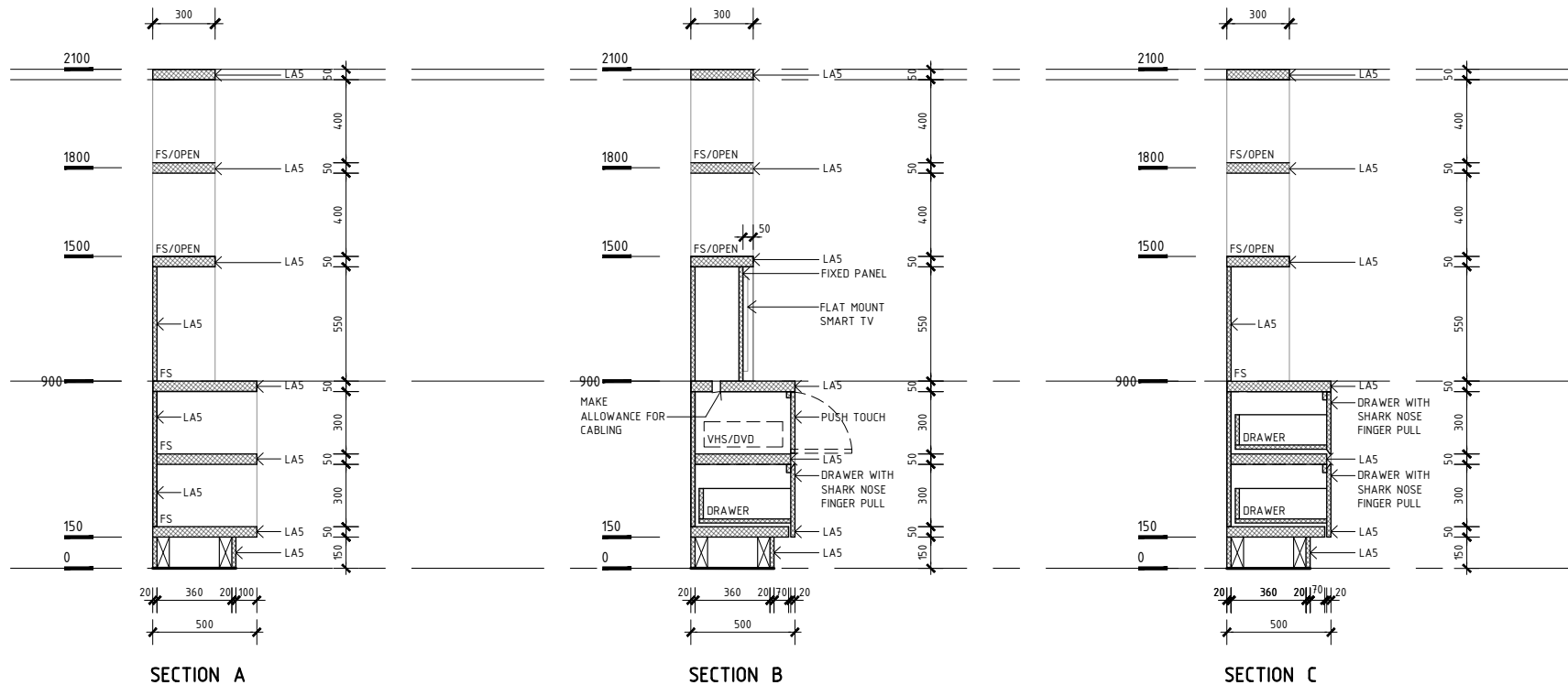
SCALE:
1:20 @ A3

CHECKED:
-

SHEET No:
3 OF 6



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DT03
AR810

FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

Builders / Contractors shall verify all dimensions before the commencement of any works. Figured dimensions shall take precedence over scaled work. Work shall conform to the Specification, other drawings and job dimensions.
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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR853** REVISION: **00**

DRAWING TITLE:
JOINERY DETAILS LOUNGE

JOB No: **21047**

SCALE: **1:20 @ A3**

DRAWN BY: **HM**

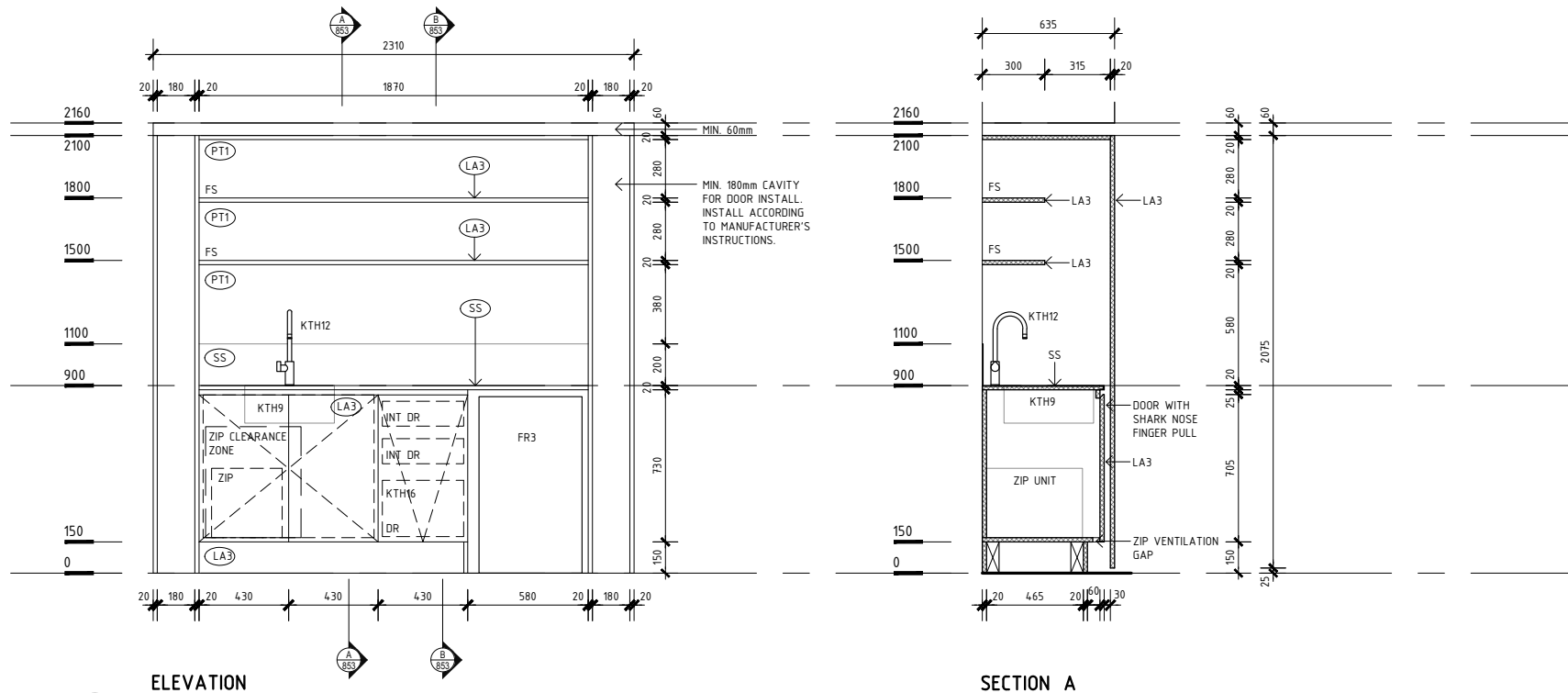
CHECKED: **-**

DATE: **JUN 2022**

SHEET No: **4 OF 6**

N2SH design studio

n2sh
Unit 2, 586 Whitehorse Rd
Mitcham VIC 3132 Australia
+61 (0)3 8838 9857
+61 (0) 413 735 655
info@n2sh.net | www.n2sh.net
N2SH Pty. Ltd. ABN: 20 606 602 196



DT04
AR814

FOR TENDER

DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB

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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR854** REVISION: **00**

DRAWING TITLE:
**JOINERY DETAILS
TEA POINT**

JOB No: **21047**

SCALE: **1:20 @ A3**

DRAWN BY: **HM**

CHECKED: **-**

DATE: **JUN 2022**

SHEET No: **5 OF 6**

n2sh
Unit 2, 586 Whitehorse Rd
Mitcham VIC 3132 Australia
+61 (0)3 8838 9857
+61 (0) 413 735 655
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SECTION B

DT04
AR814

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DATE:	REVISION:	BY:
23/06/22	00: FOR TENDER	MB



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CLIENT:
HOBSONS BAY CITY COUNCIL

PROJECT:
DENNIS RESERVE MULTIPURPOSE FACILITY

DRAWING No: **AR855** REVISION: **00**

DRAWING TITLE:
JOINERY DETAILS TEA POINT

JOB No:
21047

DRAWN BY:
HM

DATE:
JUN 2022

SCALE:
1:20 @ A3

CHECKED:
-

SHEET No:
6 OF 6



n2sh
Unit 2, 586 Whitehorse Rd
Mitcham VIC 3132 Australia
+61 (0)3 8838 9857
info@n2sh.net | www.n2sh.net
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